

# Exhibit A1

Date: _____	Application #: _____
Fees Paid: _____	+ \$15 recording fee = _____
Parcel ID #: _____	
Tax Map #: _____	

## TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

### CONTACT INFORMATION

#### APPLICANT

Name: Marsh House Apartments Limited Partnership

Mailing Address: (attn: Nicola Anderson)  
22 Keith Avenue, Suite 100, Barre, VT 05641

Home Phone : \_\_\_\_\_

Work/Cell Phone: 802.476.4493

Email: nanderson@downstreet.org

#### PROPERTY OWNER (if different from Applicant)

Name: Edward Farrar Utility District - Town of Waterbury

Mailing Address: (attn: Tom Leitz)  
28 North Main St., Waterbury VT 05676

Home Phone : \_\_\_\_\_

Work/Cell Phone: (802) 244-4300

Email: tleitz@waterburyvt.com

### PROJECT DESCRIPTION

Physical location of project (E911 address): \_\_\_\_\_  
51 S. Main St. Waterbury, VT 05676

Lot size: 0.8 ac (34,848 sf.) Zoning District: Downtown (w/in DDR-H/C & SFHA)

Existing Use: Parking Proposed Use: Multi-Family Dwelling

Brief description of project: \_\_\_\_\_

New Construction of: (26) dwelling units on (3) levels.  
mix of Studio (4), 1BR (17), & 2BR (5) apartments.

Cost of project: \$ 9.8 mil Estimated start date: Jul/Aug 2024

Water system: Municipal Waste water system: Municipal

#### EXISTING

Square footage: NA Height: \_\_\_\_\_

Number of bedrooms/baths: \_\_\_\_\_

# of parking spaces: \_\_\_\_\_

Setbacks: *front*: \_\_\_\_\_

*sides*: \_\_\_\_\_ / \_\_\_\_\_ *rear*: \_\_\_\_\_

#### PROPOSED

Square footage: 27,228 Height: +/-40'

Number of bedrooms/bath: 31 / 28

# of parking spaces: 30

Setbacks: *front*: 9'

*sides*: 37'-9" / 10'-4" *rear*: 67'-5"

### ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

**[Additional State Permits may also be required]**

### CHECK ALL THAT APPLY:

#### NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other \_\_\_\_\_

#### USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

#### OTHER

- Subdivision (# of Lots: \_\_\_\_\_)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other \_\_\_\_\_



# TOWN OF WATERBURY CONDITIONAL USE INFORMATION

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

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Fees Paid: _____	(\$15 recording fee already paid)
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## PROJECT DESCRIPTION

Brief description of project: New Construction of: (26) dwelling units on (3) levels. Mix of Studio (4), 1BR (17), & 2BR (5) apartments.

Asking for a setback waiver for the Minimum Build-to-Line Coverage. Asking for a reduction of the required 60% down to 43%.

## CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

- Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):  
 There should not be any adverse impact on the capacity of any facilities due to this waiver request.  
 The over-all size of the building is not changed due to this waiver.
- Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:  
 There should not be any adverse impact on the character of the area. Historic Preservation has asked that the building be set as far back from the street as possible to align closer with the neighbor. The main part of the new building will be set back to be closer in character with the surrounding buildings while the front porch will reach the Build-to-Line.
- Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:  
 No municipal bylaws or ordinances will be violated.
- Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:  
 NA
- For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?  
 NA

**CONTACT** Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

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## TOWN OF WATERBURY SITE PLAN REVIEW INFORMATION

This Site Plan Review information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

### PROJECT DESCRIPTION

Brief description of project: New Construction of: (26) dwelling units on (3) levels. Mix of Studio (4), 1BR (17), & 2BR (5) apartments.

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### SITE PLAN REVIEW CRITERIA

Please utilize the check list to ensure your proposal addresses each relevant Site Plan Review criteria:

- Adequacy of traffic access
- Adequacy of circulation and parking
- Adequacy of landscaping and screening (including exterior lighting)
- Requirements for the Route 100 Zoning District
- Special considerations for projects bordering Route 2, Route 100, or Interstate 89

### SITE PLAN SUBMISSION REQUIREMENTS

Before an application for site plan review is considered complete, the applicant shall file a site plan, clearly drawn to the largest practical scale, showing the following:

- Location and dimensions of lot lines, names of adjacent landowners, all easements, utilities, and existing and proposed structures.
- All access to public streets or roads, parking and service areas, pedestrian walkways, curbs and stormwater drainage.
- Pedestrian and vehicular circulation, including parking lot layout, entrances to structures, signs, and lighting.
- Building elevations and footprints.
- Detailed site grading and landscaping, indicating existing and proposed trees, shrubs, and ground cover.
- Two copies of all plans.
- For plans larger than 11"x17" please submit a digital plan set in addition to the paper copy (pdf. file format).

**CONTACT**    Zoning Administrator Phone: (802) 244-1018  
 Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
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## TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

### PROJECT DESCRIPTION

Brief description of project: New Construction of: (26) dwelling units on (3) levels. Mix of Studio (4), 1BR (17), & 2BR (5) apartments.

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

### DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

#### DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-foot or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

#### SUBMISSION REQUIREMENTS:

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

# Exhibit A6

## RIDGELINE, HILLSIDE, STEEP SLOPE OVERLAY DISTRICT (RHS)

### REVIEW STANDARDS:

- For both Minor & Major Development Projects see Conditional Use Criteria
- For Major Development Projects:
  - Screening
  - Access
  - Placement of Structures
  - Exterior Lighting
  - Clearcutting and Pre-Development Site Preparation
  - Natural Resources
  - Building Design

### SUBMISSION REQUIREMENTS :

- Minor Development Projects (1,200—1,499 FIE)
  - All information required under Site Plan Review (see Site Plan Review Application)
  - Completed Conditional Use Application
- Major Development Projects (1,500 & up FIE)
  - All information required under Site Plan Review (see Site Plan Review Application)
  - Completed Conditional Use Application
  - Grading Plan
  - Visibility Studies
  - Stormwater Drainage/Erosion Control Plan
  - Landscape Plan
  - Access Plan       Natural Features

## SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (SFHA)

### DESIGN STANDARDS:

- All development is reasonably safe from flooding       All fuel storage tanks are either elevated or floodproofed.
- All substantial improvements and new construction (including fuel storage tanks) meet the following criteria:
- Designed, operated, maintained, modified and adequately anchored to prevent flotation, collapse, release, or lateral movement of the structure
  - Constructed with materials resistant to flood damage
  - Constructed by methods and practices that minimize flood damage
  - Constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding
  - All new subdivisions and other proposed developments that are greater than 50 lots or 5 acres, whichever is the lesser shall include within such proposal base flood elevation data. See Regulations for additional subdivision standards.
  - The fully enclosed areas below the lowest floor that are useable solely for parking of vehicles, building access, or storage in an area other than a basement are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
  - A non-residential, appurtenant structure of 500 sf or less need not be elevated to or above the base flood elevation in this area, provided the structure is placed on the building site so as to offer the minimum resistance to the flow of floodwaters
  - In Zones AE, A, and A1 – A30 where base flood elevations and/or floodway limits have not been determined, new construction and substantial improvement shall not be permitted unless it demonstrates additional standards (see Regulations)
  - All new construction and substantial improvements of residential structures within Zones A1-30, and AE must have the lowest floor of all residential structures (including basement) elevated to at least one foot above the base flood level.
  - All manufactured homes are installed using methods and practices which minimize flood damage. Manufactured homes must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above base flood elevation, and they must be anchored to an adequately anchored foundation to resist flotation collapse, or lateral movement.
  - All new construction and substantial improvements of non-residential structures within Zones A1-30, and AE shall:
    - Have the lowest floor (including basement) elevated to at least two feet above the base flood level; or
    - Be designed so that below the base flood level the structure is water tight with walls substantially impermeable to the passage of water with structural components having the capability of resisting hydrostatic and hydrodynamic loads and

effects of buoyancy to a point at least two feet above the base flood level.

- Where a non-residential structure is intended to be made watertight below the base flood level a registered professional engineer or architect shall develop and/or review structural design
- Adequate drainage paths shall be required around structures on slopes to guide floodwaters around and away from proposed structures.

Adequate drainage paths shall be required around structures on slopes to guide floodwaters around and away from proposed structures.

\_\_\_ The flood carrying and sediment transport capacity within the altered or relocated portion of any watercourse shall be maintained, and any alteration or relocation shall not result in any decrease of stream stability.

\_\_\_ Bridge and culverts, which by their nature must be placed in or over the stream, must obtain a stream alteration permit from the Agency of Natural Resources, if required.

#### SUBMISSION REQUIREMENTS:

- Plans in triplicate, drawn to scale, showing the location, dimensions, contours, and elevation of the lot; the size and location on the site of existing or proposed structures, fill or storage of materials; the location and elevations of streets, water supply, and sanitary facilities; and the relation of the above to the location of the channel, floodway, and base flood elevation
- Specifications for building construction and materials, floodproofing, mining, dredging, filling, grading, paving, excavation, or drilling, channel improvement, storage of materials, water supply, and sanitary facilities
- Base flood elevation data for all subdivisions, new construction, and substantial improvements
- The elevation, in relation to mean sea level, of the lowest floor, including basement, of all new construction or substantial improvement of structures
- Where floodproofing is used in lieu of elevation, the elevation, in relation to mean sea level, to which any structure or substantial improvement will be floodproofed
- Where an application requires Board review the application shall include certification by a registered professional engineer or architect demonstrating that the proposed development will not increase base flood elevations more than 0.25 foot
- Certification by a registered professional engineer or architect demonstrating compliance with the elevation requirements
- A description of the extent to which any watercourse will be altered or relocated as a result of the proposed development
- A Vermont Agency of Natural Resources Project Review Sheet for the proposal
- Proposed floodproofing must be supported by a FEMA Floodproofing Certificate

**CERTIFICATE OF COMPLETION:** Upon completing the project the Applicant must apply for and receive a Certificate of Completion to ensure the project conforms to the Special Flood Hazard Area Regulations. See Certificate of Completion Application for additional information.

**CONTACT** Zoning Administrator Phone: (802) 244-1018  
Mailing address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
Municipal Website: [www.waterburyvt.com](http://www.waterburyvt.com)



# 51 S. MAIN

51 S. MAIN ST. WATERBURY, VT

ZONING / DRB

08/21/2023

**(NOT FOR CONSTRUCTION)**

## SHEET LIST

GENERAL	
A000	COVER SHEET
CIVIL	
C-0.00	OVERALL EXISTING CONDITIONS PLAN
C-1.00	PROPOSED SITE PLAN
C-1.01	PROPOSED SITE PLAN DETAIL FRONT OF BUILDING
C-1.02	PROPOSED SITE PLAN DETAIL REAR OF BUILDING
C-1.03	PROPOSED EROSION PREVENTION AND SEDIMENT CONTROL
C-2.00	DETAILS
C-2.01	DETAILS
C-2.02	DETAILS
C-2.03	DETAILS
C-2.04	DETAILS
C-2.05	DETAILS
LANDSCAPE	
L1.0	EXISTING CONDITIONS PLAN
L2.0	LANDSCAPE PLAN
L2.1	LANDSCAPE PLAN COLOR
L3.0	LANDSCAPE DETAILS
SP1.0	SITE PHOTOMETRIC PLAN
ARCHITECTURAL	
A100	SITE PLAN
A101	FLOOR PLAN - LEVEL 1
A102	FLOOR PLAN - LEVEL 2
A103	FLOOR PLAN - LEVEL 3
A104	ROOF PLAN
A200	ELEVATIONS - COLOR
A300	BUILDING SECTIONS
A400	RENDERED VIEWS - MAIN ST.
A500	SITE PHOTOS



## DESIGN TEAM

gbArchitecture  
85 Granite Shed Lane  
Montpelier, VT 05602

Contact: Chris Balzano, AIA  
Phone: (802)229-1664  
Email: cbalzano@gbarchitecture.com

Krebs & Lansing Consulting Engineers, Inc.  
164 Main Street  
Colchester, Vermont 05446

Contact: Greg Dixon, P.E.  
Phone: (802) 878-0375  
Email: greg.dixon@krebsandlansing.com

Park Architecture  
3 School House Lane, Suite #1  
Etna NH 03750

Contact: Paul Simon  
Kate Osgood  
Phone: (603) 643-3400  
Email: parkarchitecture@gmail.com  
kosgood@parkarchitecture.com

Owner / Applicant:  
March House Apartments Limited Partnership  
22 Keith Avenue, Suite 100 Barre, VT 05641

Downstreet Housing & Community Development  
22 Keith Avenue, Suite 100  
Barre, VT 05641

Contact: Kaziah Haviland  
Nicola Anderson  
Phone: (802) 476-4493  
Email: khaviland@downstreet.org  
nanderson@downstreet.org

Evernorth  
100 Bank Street, Suite 400  
Burlington, VT 05401.

Contact: Ben Sturtz  
Ryan Baker-Dunn  
Phone: (802) 863-8424  
Email: bsturtz@evernorthus.org  
rbaker-dunn@evernorthus.org



gbArchitecture

85 Granite Shed Lane  
Montpelier VT 05602  
802-229-1664

[www.gbArchitecture.com](http://www.gbArchitecture.com)

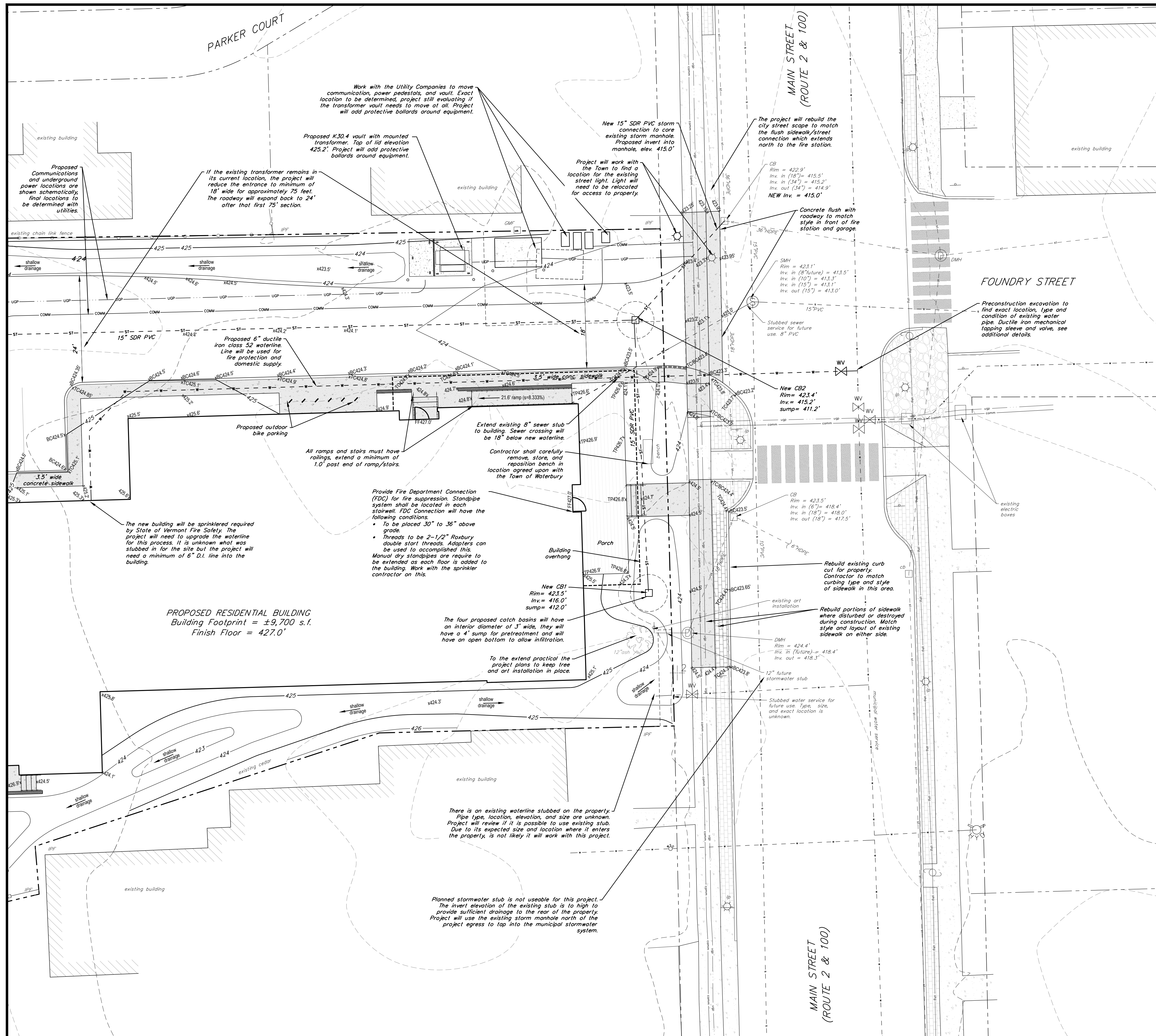












**LEGEND**

- IRON PIPE / CONCRETE MONUMENT FOUND
- EXISTING TREELINE
- EXISTING GRADE CONTOUR LINES (5 FOOT INTERVALS)
- EXISTING GRADE CONTOUR LINES (1 FOOT INTERVALS)
- APPROXIMATE PROPERTY LINES
- EXISTING WOODEN FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING SEWER LINE/MANHOLE
- EXISTING STORM LINE/MANHOLE/BASIN
- EXISTING OVERHEAD ELECTRIC LINE/POWER POLE
- EXISTING UNDERGROUND POWER
- EXISTING WATER LINE/HYDRANT/VALVE/SHUTOFF
- EXISTING UNDERGROUND COMMUNICATIONS
- MAPPED FEMA BFE
- PROPOSED SEWER LINE/MANHOLE
- PROPOSED SEWER LINE/MANHOLE/BASIN
- PROPOSED WATER LINE/HYDRANT/VALVE/SHUTOFF
- PROPOSED GRADE CONTOUR LINES (5 FOOT INTERVALS)
- PROPOSED GRADE CONTOUR LINES (1 FOOT INTERVALS)

- NOTES:**
- ASPECTS OF PLAN ARE APPROXIMATE AND DERIVED FROM AERIAL PHOTOGRAPHY.
  - THE HORIZONTAL COORDINATE SYSTEM IS BASED ON NAD83 VERMONT STATE PLANE 4400 (US SURVEY FEET). ELEVATIONS ARE BASED ON THE NAVD88 (US SURVEY FEET).
  - EXISTING GROUND CONTOUR ELEVATIONS ARE BASED 2013 STATE OF VERMONT LIDAR AND FIELD SURVEY BY KREBS AND LANSING IN THE SUMMER OF 2023. KREBS AND LANSING SURVEYED ONLY AREA AROUND THE PROPOSED PROJECT.
  - UTILITIES ARE NOT WARRANTED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL CONTACT DIG SAFE BEFORE BEGINNING ANY EXCAVATION.
  - THIS IS IN NO WAY A BOUNDARY SURVEY. PROJECT PROPERTY IS SHOWN BASED ON A SURVEY BY GRENIER ENGINEERING P.C. TITLED "SURVEY OF VILLAGE OF WATERBURY 51 SOUTH MAIN FORMER TOWN OFFICES" DATED NOVEMBER 2015 AND MONUMENTATION FOUND IN THE AREA SURVEYED FOR THE PROPOSED WORK. ALL OTHER PROPERTY LINES SHOWN ON THIS PLAN ARE FROM TAX MAP INFORMATION PROVIDED BY THE TOWN. PROPERTY LINES HAVE BEEN ADJUSTED BASED ON MONUMENTATION FOUND IN THE FIELD AND EVIDENCE IN AERIAL PHOTOGRAPHY.

# 51 S. Main Apartments

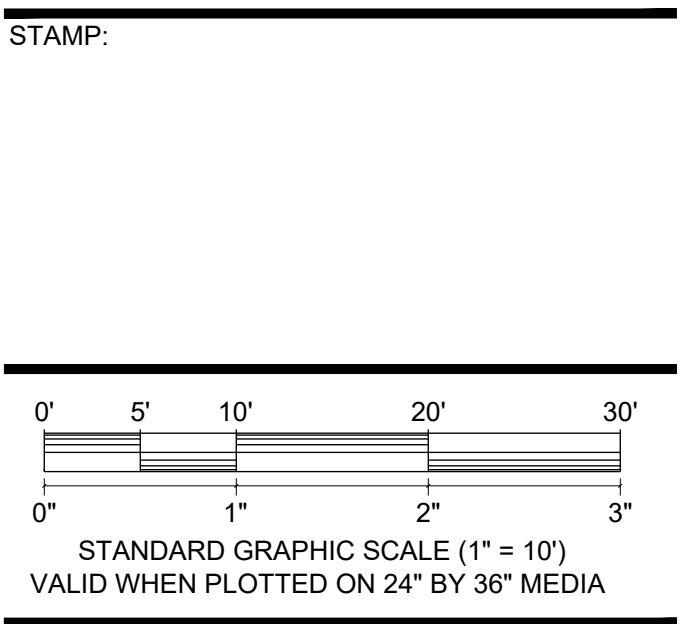
164 Main Street, Suite 201  
Colchester, Vermont 05446



**ISSUED FOR PERMIT REVIEW NOT FOR CONSTRUCTION**

**APPLICANT:**  
Evermorth  
100 Bank Street, Suite 400  
Burlington, Vermont 05401

**PROPERTY INFORMATION:**  
Address: 51 South Main Street  
Parcel ID: 916-0051V  
SPAN: 696-221-11982  
Area: 0.80 Acres  
Zoning: Downtown Commercial  
Setbacks:  
Front: 0'  
Rear: 0'  
Side: 0'  
Max. Building Height: 50'



REV. NO.	REVISIONS/COMMENTS	DATE

DRAWING TITLE:  
**PROPOSED SITE PLAN DETAIL FRONT OF BUILDING**

DATE ISSUED: 08/21/23  
DRAWN BY: GTD CHECKED BY: GTD  
PROJECT NO.: 23177 SCALE: 1" = 10'  
DRAWING NO.: **C-1.01** REV. NO.:











### GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DISTURBED AREAS BACK TO ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO CURBING, SIDEWALKS, ROAD, PARKING AREAS, LANDSCAPING, SITE LIGHTING, ELECTRICAL, AND ETC. ALL ASPHALT SHALL BE SAW-CUT PRIOR TO PAVING.
2. THE METHODS AND MATERIALS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS OF THE STATE OF VERMONT AND TOWN OF WATERBURY. ALL WORK SHALL BE IN CONFORMANCE WITH ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT. IN CASE OF CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY AS DIRECTED BY ENGINEER. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND COMPLETED IN THE TIME SPECIFIED BY OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS SHOWN AND REQUIRED TO MAKE THE JOB COMPLETE. THESE DRAWINGS DO NOT SHOW EVERY FITTING OR APPURTENANCE. MATERIALS SHALL BE AS SPECIFIED ON THE DRAWINGS. MANUFACTURER'S PRODUCT SPECIFICATIONS SHALL BE SUBMITTED FOR ALL MATERIALS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
4. THE LOCATION AND SIZE OF EXISTING UNDERGROUND UTILITIES IS NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND SHALL CONTACT THE AFFECTED UTILITY COMPANY, THE ENGINEER AND THE MUNICIPALITY PRIOR TO MAKING ANY HOOK UPS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXISTING UTILITIES AND THEIR UNINTERRUPTED SERVICES. ALL OFF-SITE BACKFILL, SHEETING, SHORING, DEWATERING, CLEARING AND GRUBBING, EROSION CONTROL, DUST CONTROL, TRAFFIC CONTROL, GRADING, AND ALL INCIDENTALS SHALL BE INCLUDED AS PART OF THE REQUIRED WORK.
5. THE CONTRACTOR SHALL VERIFY ALL TEMPORARY BENCH MARKS BEFORE USE.
6. THE WORKMEN AND PUBLIC SHALL BE PROTECTED BY THE CONTRACTOR FROM ANY AND ALL HAZARDS CONNECTED WITH THE CONSTRUCTION WORK. OPEN TRENCHES, MATERIALS, OR EQUIPMENT WITHIN THE WORKING LIMITS ARE TO BE GUARDED BY THE USE OF ADEQUATE BARRICADES OR FLAGMEN. ALL BARRICADES LEFT IN POSITION OVERNIGHT ARE TO BE PROPERLY LIGHTED. KEROSENE POTS ARE NOT ACCEPTABLE. WHEN WORK NARROWS THE USABLE PAVEMENT, FLAGMEN SHALL BE EMPLOYED TO AID THE FLOW OF TRAFFIC SO THAT THERE WILL BE NO UNDUE DELAYS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE SAFETY OF ALL WORKMEN, THE GENERAL PUBLIC AND ALL DAMAGES TO PROPERTY OCCURRING FROM OR UPON THE WORK OCCASIONED BY NEGLIGENCE OR OTHERWISE GROWING OUT OF A FAILURE ON THE PART OF THE CONTRACTOR TO PROTECT PERSONS OR PROPERTY FROM HAZARDS OF OPEN TRENCHES, MATERIALS, OR EQUIPMENT AT ANY TIME OF THE DAY OR NIGHT WITHIN THE WORKING AREA. ALL WORK SHALL BE IN CONFORMANCE TO OSHA REGULATIONS, TITLE 19, PARTS 1926.651 AND 1926.652, AND APPLICABLE TO VOSHA REGULATIONS.
7. THE CONTRACTOR SHALL VERIFY ALL UTILITY INTERSECTIONS AND CONTACT ENGINEER AND OWNER WITH CONFLICTS.
8. THE CONTRACTOR SHALL CALL, DIG SAFE PRIOR TO ANY EXCAVATION.
9. THE CONTRACTOR SHALL COORDINATE FINAL LOCATION AND INVERTS FOR WATER, SEWER, AND STORM BUILDING CONNECTIONS WITH THE ARCHITECT, STRUCTURAL ENGINEER, AND MECHANICAL ENGINEER.
10. ALL STUMPS, ROCK, AND OTHER NON-APPROVED TRENCH BACKFILL MATERIAL DISCOVERED DURING CONSTRUCTION IS THE EXCLUSIVE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN A STATE APPROVED DISPOSAL LOCATION. ALL EXISTING SOILS REUSED FOR FILL SHALL CONFORM TO ALL APPLICABLE SECTIONS OF VTTRANS SPECIFICATIONS SECTION 203-EXCAVATION & EMBANKMENTS. CONTRACTOR SHALL REVIEW SOIL INVESTIGATION REPORT AND SOILS LOGS PRIOR TO BID. ANY SOIL REUSED AS FILL UNDER ROADS AND APPLICABLE CONCRETE SIDEWALKS SHALL PASS A SUBGRADE PROOF ROLL WITH A LOADED TANDEM. FILL SOILS THAT DO NOT PASS A SUBGRADE PROOF ROLL SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
11. ALL PASSING SIEVE, PROCTOR, AND COMPACTION TESTING EXPENSES SHALL BE PAID BY THE CONTRACTOR. TESTING COORDINATION, ALL OTHER REQUIRED TESTING, AND EXPENSES FOR FAILED TESTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. THE CONTRACTOR SHALL CONTACT THE GREEN MOUNTAIN POWER (GMP) PRIOR TO ANY WORK IN THE VICINITY OF THE EXISTING ELECTRIC CONDUITS.
13. THIS PROJECT WILL NOT REQUIRE COVERAGE UNDER AN STATE OF VERMONT GENERAL CONSTRUCTION STORMWATER DISCHARGE PERMIT. THE CONTRACTOR WILL FOLLOW THE RULES, REGULATIONS, AND DIRECTION OUTLINED IN THE STATE OF VERMONT "LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL" FROM FEBRUARY 2020. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES SHOWN ON THE PLANS OR DETAILS AND TO THE MAXIMUM EXTENT PRACTICAL, TO MINIMIZE POTENTIAL CONTAMINATION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL "AS-BUILT" MEASUREMENT AND DRAFTING REQUIREMENTS AS OUTLINED ON THE DETAIL SHEETS. ALL TRENCH EXCAVATIONS SHALL REMAIN OPEN UNTIL ALL AS-BUILT SURVEY SHOTS HAVE BEEN TAKEN. PROGRESS RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AS INDICATED IN THE RECORD DRAWING SPECIFICATIONS.
15. SEE EROSION PREVENTION AND SEDIMENT CONTROL AND LOGISTICS PLANS FOR LOCATIONS OF STAGING / STORAGE AREAS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIGNAGE AND CONSTRUCTION BARRIER/SAFETY FENCING NECESSARY FOR PROVIDING SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH OR AROUND THE SITE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THIS WITH THE TOWN OF WATERBURY AND THE TOWN'S DEPARTMENT OF PUBLIC WORKS.
17. DEFINITION OF "PRECONSTRUCTION EXCAVATION" FOR THESE CONTRACT DOCUMENTS SHALL BE: THE SITE CONTRACTOR SHALL EXPOSE UTILITIES AND OBTAIN ALL NECESSARY INFORMATION, INCLUDING BUT NOT LIMITED TO, INVERT ELEVATION, SIZE, DEPTH, PIPE TYPE, JOINT LOCATION, ETC. CONTRACTOR SHALL TRANSIT SURVEY THE LOCATION AND ELEVATIONS OF THE UTILITY. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SKETCHES INDICATING HORIZONTAL AND VERTICAL INFORMATION OF PIPE OR CONDUIT TYPE AND SIZE, CROSS-SECTION INFORMATION, CONCRETE ENCASEMENT INFORMATION (TOP AND BOTTOM ELEVATIONS, WIDTH, ETC.), JOINT LOCATION, ETC. OF EACH REQUIRED EXISTING UNDERGROUND UTILITY. ACCURACY OF HORIZONTAL LOCATION IS WITHIN 1 FOOT, AND ACCURACY OF VERTICAL ELEVATION IS WITHIN 0.02 FT. (1/4"). COORDINATE ALL EXCAVATION WITH CITY, OWNER, AND ENGINEER. PRECONSTRUCTION EXCAVATIONS SHALL OCCUR PRIOR TO ORDERING STRUCTURES AND PRIOR TO UTILITY CONSTRUCTION TO FACILITATE REDESIGN AND/OR DESIGN CONFIRMATION.
18. THE LOCATION OF THE PRECONSTRUCTION EXCAVATION SYMBOLS DOES NOT NECESSARILY INDICATE THE LOCATION OF THE BURIED UTILITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIND AND EXPOSE THE UTILITY.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF IMPORTING AND PLACING TOPSOIL AND/OR COMPOST NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL TEST TOPSOIL FOR APPROVAL BY THE OWNER AND ENGINEER.
20. ALL SEWER AND STORM PIPES SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED. ALL NEW SANITARY AND STORM PIPES SHALL BE LAID WITH A LASER TO ELEVATION AND SLOPE AS SHOWN ON THE PLANS.
21. CORE AND BOOT ALL EXISTING STRUCTURES UNLESS OTHERWISE NOTED.
22. ALL NEW CATCH BASINS AND SANITARY SEWER MANHOLE MUST HAVE ONE 6" PRECAST CONCRETE GRADE RING.
23. ALL WATERLINE PIPE SHALL BE DUCTILE IRON CLASS 52 OR C900 PVC. ALL BENDS AND FITTINGS SHALL HAVE POURED IN PLACE THRUST BLOCKS. MIXED ONSITE CONCRETE IS NOT ALLOWED.
24. TEMPORARY GROUNDWATER, STORMWATER, AND SEWER BY-PASS PUMPING AND/OR DIVERSION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PUMPS AND EQUIPMENT TO PERFORM THE WORK. OVERNIGHT PUMPING IS NOT ALLOWED.
25. ALL SIDEWALKS SHALL HAVE 2% MAXIMUM CROSS SLOPE. ALL RAMPS AND STAIRS SHALL HAVE A LANDING AT THE BOTTOM WITH A MAXIMUM SLOPE OF 2% FOR 5 FEET.
26. CONTRACTOR TO PIN CONCRETE SIDEWALK/SLABS TO ALL CONTACT POINTS WITH STAIRS, BUILDING, BIKE SLAB, RETAINING WALLS, ETC.
27. CONTRACTOR SHALL MAINTAIN FULL OCCUPANCY AND FIRE DEPARTMENT ACCESS TO ALL SURROUNDING BUILDINGS. COORDINATE ALL TEMPORARY ACCESS WITH THE MUNICIPALITY.
28. REMOVAL OF ALL EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
29. AT THE END OF THE PROJECT, CLEAN THE SUMPS OF ALL NEW AND EXISTING CATCH BASINS AND STORM MANHOLES WITHIN THE PROJECT LIMITS.
30. ELECTRICAL AND LIGHTING ARE SHOWN FOR ILLUSTRATIVE/COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS AND SPECIFICATIONS FOR DESIGN.
31. SEE LANDSCAPE AND/OR STRUCTURAL PLANS FOR ALL RETAINING WALLS, UTILITY PADS, STAIRS, AND EXTERIOR CONCRETE AT DOORS.
32. REFER TO PLUMBING, MECHANICAL AND/OR FIRE PROTECTION PLANS FOR WATER, SEWER AND STORM DESIGN WITHIN FIVE FEET OF THE BUILDING.

### EPSC GENERAL NOTES:

1. EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PRACTICES SHALL BE IMPLEMENTED IN ALL AREAS WHERE THERE IS AN INCREASED RISK OF EROSION, AND WHERE THERE IS POTENTIAL FOR DISCHARGE OF STORMWATER RUNOFF (EITHER DIRECT OR INDIRECT) TO A WATER BODY.
2. EPSC MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES WITHIN A GIVEN DRAINAGE AREA WITH THE EXCEPTION OF LAND DISTURBANCE THAT MAY RESULT FROM ACCESSING THE AREA(S) WITH EQUIPMENT IN WHICH EPSC MEASURES ARE TO BE INSTALLED. THIS EXCEPTION INCLUDES LAND DISTURBANCE THAT MAY RESULT FROM ACCESS OF EQUIPMENT THAT IS NEEDED FOR: EXPLORATION AND/OR EPSC MEASURE INSTALLATION PHASES OF THE PROJECT. TEMPORARY SEDIMENT BASINS, TEMPORARY SEDIMENT TRAPS, PERIMETER DIKES, TEMPORARY SEDIMENT BARRIERS, AND OTHER TEMPORARY MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE WITH THE EXCEPTION OF THOSE ACTIVITIES STATED ABOVE. EARTH DISTURBANCE INCLUDES STUMPING AND GRUBBING OF CLEARED AREAS.
3. EPSC MEASURES SHALL BE INSTALLED PURSUANT TO THE EPSC PLAN, THE 2020 STATE OF VERMONT LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL, THE 2020 VERMONT EROSION PREVENTION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS, AND/OR ANY OTHER RELEVANT PROJECT PERMITS.
4. ALL PROPOSED CHANGES SHALL BE APPROVED BY THE ON-SITE PLAN COORDINATOR (OSPC) OR HIS/HER DESIGNEE PRIOR TO IMPLEMENTATION.
5. LOGGING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ACCEPTABLE MANAGEMENT PRACTICES FOR MAINTAINING WATER QUALITY ON LOGGING JOBS IN VERMONT (AMPS, 2006).
6. PERMISSION MUST BE GRANTED BY VT DEC PRIOR TO USE OF ANY SUPPORT ACTIVITIES OCCURRING OUTSIDE OF THE APPROVED PROJECT BOUNDARIES.
7. ALL PARTIES ASSOCIATED WITH CONSTRUCTION ACTIVITIES WHO MEET EITHER OF THE FOLLOWING TWO CRITERIA OF "PRINCIPAL OPERATOR" MUST OBTAIN COVERAGE UNDER THE CONSTRUCTION STORMWATER DISCHARGE PERMIT FOR THE PROJECT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES BY THAT OPERATOR.
  - A. THE PARTY HAS OPERATIONAL CONTROL OVER CONSTRUCTION PLANS AND SPECIFICATION, INCLUDING BUT NOT LIMITED TO THE ABILITY TO MAKE MODIFICATIONS TO THOSE PLANS AND SPECIFICATIONS; OR
  - B. THE PARTY HAS CONTINUOUS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE PROJECT THAT ARE NECESSARY TO ENSURE COMPLIANCE WITH AN EPSC PLAN FOR THE SITE OR OTHER PERMIT CONDITIONS (E.G., THEY ARE AUTHORIZED TO DIRECT WORKERS AT A SITE TO CARRY OUT ACTIVITIES REQUIRED BY THE EPSC PLAN OR COMPLY WITH OTHER PERMIT CONDITIONS).
8. EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED TO THE EXTENT PRACTICABLE.
9. A VEGETATED BUFFER SHALL BE MAINTAINED FOR WATER BODIES WHERE FEASIBLE (E.G., WETLANDS AND STREAMS).
10. TO THE EXTENT PRACTICABLE, SURFACE FLOW SHALL BE DIVERTED AWAY FROM EXPOSED SOILS VIA DIVERSION BERMS, EARTH DIKES, PERIMETER DIKES/SWALES, TEMPORARY SWALES, WATER BARS, AND/OR CHECK DAMS.
11. RESOURCE AREAS (E.G., WETLANDS, STREAMS, RTE PLANT SPECIES) SHALL BE FLAGGED PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES OCCURRING WITHIN CLOSE PROXIMITY TO THOSE AREAS.
12. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT VIOLATE WATER QUALITY STANDARDS OR CONTRIBUTE TO EROSION. DEWATERING DETAILS SHALL BE REVIEWED AND APPROVED BY OSPC PRIOR TO USE.
13. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN STEEP SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL (SEE DETAILS), FLUME, OR SLOPE DRAIN STRUCTURE.
14. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
  - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, WHERE FEASIBLE, BUT NOT IN RESOURCE AREAS.
15. WHERE FEASIBLE, ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES AS PART OF MAINTENANCE SHALL BE DISPOSED OF IN AN AREA THAT IS AT LEAST ONE OF THE FOLLOWING, WITH IMMEDIATE STABILIZATION FOLLOWING DISPOSAL OF MATERIAL:
  - A. LESS THAN 5% SLOPE
  - B. AT LEAST 100 FEET FROM ANY DOWNSLOPE WATER BODY OR CONVEYANCE TO A WATER BODY, INCLUDING A DITCH
  - C. VEGETATED
16. DISTURBED AREAS BORDERING OR DRAINING TO EXISTING ROADS SHALL HAVE AN APPROPRIATE SEDIMENT BARRIER (E.G., SILT FENCE) SPANNING THE EDGE OF THE DISTURBANCE TO PREVENT WASHING OF SEDIMENT ONTO ROADWAYS OR INTO ROAD DITCHES.
17. IN ADVANCE OF PREDICTED RAINFALL OR SNOWMELT, ALL EPSC MEASURES THAT ARE LOCATED IN ACTIVE AREAS OF EARTH DISTURBANCE SHALL BE INSPECTED AND REPAIRED, AS NEEDED. IF NECESSARY, THIS SHALL INCLUDE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.
18. DUST CONTROL SHALL BE HANDLED VIA WATER APPLICATION TO ROADWAYS AND OTHER AREAS WHERE DUST MAY BE GENERATED.

### GENERAL GRADING AND SITE WORK NOTES

1. ALL AREA DISTURBED AND ALL AREAS WITHIN THE CLEARING LIMITS SHALL BE GRADED AND COVERED WITH A MINIMUM OF 4" OF LOAM TOPSOIL. THE AREAS TO BE LOAMED SHALL BE FREE AND CLEAR OF ROOTS, WASTE MATERIAL, AND OTHER DELETERIOUS MATERIAL. TOPSOIL SHALL BE SPREAD AND LIGHTLY COMPACTED TO A DEPTH OF 6". TOPSOIL SHALL BE APPROVED BY THE ENGINEER. ALL SIDE SLOPES ARE TO BE LOAMED.
2. ALL TURF ESTABLISHMENT SHALL BE IN ACCORDANCE WITH SECTION 651 OF THE VT STANDARD SPECIFICATIONS 2018 AND THE MUNICIPALITY SPECIFICATIONS. MULCHING SHALL FOLLOW SEEDING BY NO MORE THAN 24 HOURS.
3. ALL CUT SLOPES SHALL BE NO STEEPER THAN 2:0H ON 1:0V. ALL FILL SLOPES SHALL BE NO STEEPER THAN 2:0H ON 1:0V.
4. THE CONTRACTOR SHALL NOT DISTURB ANY GROUND BETWEEN OCTOBER 15TH BETWEEN APRIL 15TH WINTER MONTHS, UNLESS APPROVED BY THE ENGINEER.
5. TEMPORARY SILT FENCE SHALL BE ERECTED PRIOR TO ANY CLEARING OR CONSTRUCTION. FENCING MAY BE ERECTED IN PHASES, BUT IN NO CASE SHALL GROUND DISTURBANCE PROCEED FENCING. SPECIAL AREAS MAY BE DESIGNATED BY THE OWNER FOR PRESERVATION OF EXISTING TREES. THESE AREAS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE NO DAMAGE IS DONE TO DESIGNATED TREES.
6. EXISTING PLANTINGS ARE LOCATED IN GENERAL AREAS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PROTECT PLANTINGS SO AS NOT TO DAMAGE THESE OR THEIR ROOT SYSTEMS.
7. SLOPE STABILITY BASED UPON UNSATURATED SOIL CONDITIONS. IF DURING CONSTRUCTION SATURATED SOILS ARE ENCOUNTERED, CONTACT THE ENGINEER IMMEDIATELY.

ALL CONNECTIONS TO MUNICIPAL SEWER, WATER, AND STORMWATER UTILITIES INSTALLED ON THE PROJECT TO BE OBSERVED BY THE ENGINEER AND THE AUTHORIZED REPRESENTATIVE OF THE UTILITY, THE TOWN OF WATERBURY, AND THE WATER DISTRICT PRIOR TO BACKFILLING THE UTILITY BEING INSTALLED. THE ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE WORK IS PLANNED TO BEGIN. ALL DETAILS ARE SUBJECT TO THE MOST RECENT REVISIONS OF THE WATER DISTRICT SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF WATER LINES AND APPURTENANCES. PROJECT SHALL FOLLOW ALL DETAILS IN THIS PLAN SET, WATERBURY DPW SPECIFICATIONS, AND THE WATER DISTRICT SPECIFICATIONS. THE MOST STRINGENT DETAILS WILL APPLY.

### WATER & SEWER CONSTRUCTION NOTES

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION OF WATER MAIN, STORM AND SANITARY SEWER SYSTEMS AS SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY ADAPTERS, FITTINGS, ETC. TO MAKE CONNECTIONS TO THE EXISTING AND PROPOSED UNITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN OR IMPLIED ON THE PLANS AND/OR REFERENCED IN THE SPECIFICATIONS AND PERMITS. THE CONTRACTOR SHALL SUBMIT, FOR APPROVAL BY THE ENGINEER, ALL TYPES OF MATERIALS AND PRODUCTS USED.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK ON THE WATER SUPPLY SYSTEM WITH THE OWNER, THE TOWN OF WATERBURY, WATERBURY PUBLIC WORKS, THE WATER DISTRICT, AND THE CIVIL ENGINEER. ALL WATER INSTALLATION WORK AND WATER DISTRIBUTION MATERIALS MUST COMPLY WITH THE CURRENT WPW SPECIFICATIONS.
3. THESE PLANS ARE NOT RESPONSIBLE FOR DESIGN OF WATER AND SEWER SERVICES WITHIN 5 FEET OF THE BUILDING. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR EXTENDING THE SERVICES TO THE PLUMBING AND/OR FIRE SYSTEM CONNECTION WITHIN THE BUILDING. SEE PLUMBING ENGINEER, MECHANICAL ENGINEER AND/OR FIRE PROTECTION PLANS FOR SCOPE, DESIGN AND SPECIFICATIONS WITHIN 5 FT. OF THE BUILDING.
4. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS AND APPURTENANCES TO COMPLETE THE WATERLINE CONSTRUCTION WORK. THIS INCLUDES TEMPORARY FITTINGS AND GAUGES NECESSARY TO SAFELY COMPLETE THE FLUSHING ACTIVITIES REQUIRED PRIOR TO MAKING CONNECTIONS WITH BUILDING PLUMBING.
5. THE PROJECT SHALL BE CONSTRUCTED, COMPLETED, MAINTAINED, AND OPERATED IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES SHALL BE MADE IN THE PROJECT WITH OUT THE WRITTEN APPROVAL OF THE TOWN, WATER DISTRICT, AND THE CIVIL ENGINEER. A COPY OF THE FINAL APPROVED PLANS SHALL BE SUBMITTED TO THE TOWN PRIOR TO CONSTRUCTION OF THE WATER SYSTEM IMPROVEMENTS.
6. THE TOWN AND WATER DISTRICT SHALL BE NOTIFIED IN ADVANCE TO INSPECT ALL MECHANICAL JOINTS FITTINGS, MAIN LINE TAPS, APPURTENANCES, THRUST BLOCKS, WATER LINE CROSSINGS, AND TESTING PRIOR TO OCCURRENCE OR BACKFILLING.
7. ALL DOMESTIC SERVICES AND FIRE SPRINKLER SYSTEMS THAT ARE CONNECTED TO THE PUBLIC WATER SYSTEM SHALL BE PROTECTED WITH A BACKFLOW PREVENTION ASSEMBLY, AND AN APPROPRIATE THERMAL EXPANSION SYSTEM. THE MECHANICAL CONTRACTOR SHALL COORDINATE APPROVED BACKFLOW PREVENTION WITH THE TOWN AND WATER DISTRICT.

#### WATER MAINS

1. APPLIES TO NEW DOMESTIC WATER MAINS AND SERVICES.
2. THE PIPE FOR WATER MAIN SHALL BE CL52 DUCTILE IRON OR C900 PVC. DUCTILE IRON FITTINGS SHALL CONFORM TO AWWA C110, 350 POUNDS WORKING PRESSURE. VALVES SHALL BE MANUFACTURED TO MEET ALL REQUIREMENTS OF AWWA SPECIFICATION C509 OR C515. FOUR-INCH AND SIX-INCH PIPE SHALL HAVE NO LESS THAN 2 BRASS WEDGES INSTALLED AT EACH JOINT. EIGHT-INCH AND 10" PIPE SHALL HAVE NO LESS THAN 3 WEDGES INSTALLED AT EACH JOINT.
3. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C600. THE PIPE SHALL BE KEPT FREE OF FOREIGN MATTER AND DEBRIS DURING INSTALLATION. WHEN THE PROCESS OF PIPE LAYING HAS STOPPED, ANY OPEN ENDS OF PIPE SHALL BE PLUGGED. THERE SHALL BE A MINIMUM OF 6" COVER OVER ALL PIPE AND SERVICE LINES. ANY PIPE DEFLECTION SHALL NOT EXCEED FIFTY (50%) PERCENT OF RECOMMENDED MANUFACTURER'S MAXIMUM DEFLECTION. BACKFILL MATERIALS AND PROCEDURES SHALL BE AS DETAIL ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SHEETING AND/OR SHORING NECESSARY TO COMPLY WITH OSHA - YOSHA REGULATIONS.
4. THE TESTING OF THE WATER MAIN SHALL CONSIST OF THE TESTING OF ALL INSTALLED PIPE, SERVICES AND HYDRANTS IN ACCORDANCE WITH AWWA C600. THE TESTING SHALL CONSIST OF A PRESSURE TEST AND LEAKAGE TEST. ALL TESTING SHALL BE DONE WITH POTABLE WATER AND IN THE PRESENCE OF THE ENGINEER. REPRESENTATIVES FROM THE MUNICIPALITY AND THE MUNICIPALITY PUBLIC WORKS. THE PRESSURE TEST CONSISTS OF MAINTAINING A MINIMUM INTERNAL PIPE PRESSURE OF 200 PSI FOR TWO (2) HOURS. THE TESTING ALLOWANCE SHALL BE DEFINED AS THE MAXIMUM QUANTITY OF MAKEUP WATER THAT IS ADDED INTO A PIPELINE UNDERGOING HYDROSTATIC PRESSURE TESTING, OR ANY VALVED SECTION THEREOF, IN ORDER TO MAINTAIN PRESSURE WITHIN +/- 5 PSI OF THE SPECIFIED TEST PRESSURE (AFTER THE PIPELINE HAS BEEN FILLED WITH WATER AND THE AIR HAS BEEN EXPELLED). NO PIPE INSTALLATION WILL BE ACCEPTED IF THE QUANTITY OF MAKEUP WATER IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:
 
$$L = \frac{SD\sqrt{P}}{148,000}$$

L = TESTING ALLOWANCE (MAKEUP WATER), IN GALLONS PER HOUR  
 S = LENGTH OF PIPE TESTED, IN FEET  
 D = NOMINAL PIPE DIAMETER, IN INCHES  
 P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST, IN POUNDS PER SQUARE INCH (GAUGE)
5. CHLORINATING OF THE SYSTEM SHALL BE ACCOMPLISHED AFTER THE WATER MAIN HAS BEEN SUCCESSFULLY PRESSURE TESTED AND THOROUGHLY FLUSHED. DISINFECTING SHALL BE IN ACCORDANCE WITH AWWA C-651. THE DISINFECTING PROCESS SHALL BE DEEMED ACCEPTABLE ONLY AFTER TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN FROM THE FLUSHED AND DISINFECTED MAIN 24 HOURS APART, SHOWS NO EVIDENCE OF BACTERIOLOGICAL CONTAMINATION. FOR PROPER DISINFECTION USE MINIMUM 25 MGL CHLORINE CONCENTRATION FOR 24 HOURS. THE CONCENTRATION MUST REMAIN ABOVE 10 MGL. TABLET DISINFECTING IS NOT ACCEPTABLE. DECHLORINATION SHALL BE REQUIRED WHILE FLUSHING THE ORIGINAL CHLORINE FROM THE NEW LINE. COORDINATE WITH THE THE MUNICIPALITY AND THE MUNICIPALITY PUBLIC WORKS REGARDING THE DISPOSAL OF THE HIGHLY CHLORINATED WATER FLUSHED FROM THE NEW WATERLINE.
6. THE WATER MAIN SHALL BE THOROUGHLY FLUSHED WITH A MINIMUM FLOW VELOCITY OF 2.5 FT/S TO FLUSH FOREIGN MATERIALS OUT OF THE VALVES AND HYDRANTS. AT LEAST 48 HOURS PRIOR TO WATERLINE FLUSHING, THE CONTRACTOR SHALL CONTACT THE OWNER, MUNICIPALITY FIRE DEPARTMENT, THE DISTRICT WATER SUPPLY COMPANY, AND THE ENGINEER.

#### SANITARY SEWER

1. ALL SEWER LINES AND MANHOLES SHALL BE THOROUGHLY TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION RULES (04/12/2019).
2. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED IN THE PRESENCE OF THE ENGINEER. THE STRUCTURE SHALL BE TESTED PRIOR TO BACKFILL WITH THE LOWEST SEAM EXPOSED. TEST PROCEDURES AND PRESSURE SHALL BE DETERMINED JOINTLY BY THE LOCAL APPROVAL AGENCY AND THE ENGINEER. FAILURE OF ANY VACUUM TEST SHALL NECESSITATE REPAIR AND/OR REPLACEMENT OF THE STRUCTURE AND RETEST. WATER TESTING MANHOLES IS NOT ACCEPTABLE.
3. ALL SANITARY MAINS SHALL BE AIR TESTED IN THE PRESENCE OF THE ENGINEER. AT A MINIMUM, THE TEST PRESSURE SHALL BE 4 POUNDS PER SQUARE INCH AT THE HIGHEST POINT ALONG THE TEST FOR 4 MINUTES.
4. UTILITY TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING SANITARY TESTING AT A MINIMUM OF 24 HOURS PRIOR TO THE TEST. BASED ON AVAILABILITY OF ENGINEER'S STAFF, THE ENGINEER SHALL ACCOMMODATE THE TESTING SCHEDULE WITHIN 24 HOURS OF THE CONTRACTOR REQUESTED TEST DATE/TIME.
5. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF PRE-SCHEDULED TESTING AND/OR WATER/SEWER CONSTRUCTION IS CANCELED. IF CONTRACTOR DOES NOT CONTACT ENGINEER AND ENGINEER VISITS THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEER'S FEES/MILEAGE FOR SITE VISIT.

#### ADDITIONAL NOTES AND TESTING REQUIREMENTS

1. IN ADDITION TO THE ABOVE REQUIREMENTS AND APPLIES TO WATER AND SANITARY SEWER.
2. ALL WATER LINES AND SEWER LINES SHALL BE THOROUGHLY TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION RULES (04/12/2019) AND THE CHAPTER 21 WATER SUPPLY RULES (03/17/2020) (THE MORE STRINGENT RULE SHALL APPLY).
3. ALL PRIVATE OR MUNICIPAL WATERLINES SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN AWWA C600 AND/OR NFPA 24.
4. NO WATER MAIN SHALL BE CLOSER THAN TEN (10) FEET TO ANY SANITARY SEWER OR SANITARY MANHOLE AND FIVE (5) FEET TO ANY CATCH BASIN OR STORM SEWER LINE. PROVIDE MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER MAIN AND STORM/SANITARY SEWER CROSSING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AS-BUILTS TO SERVICE LOCATIONS, AND ANY WATER MAIN FITTINGS. AS-BUILTS SHALL BE RECORDED IN ACCORDANCE WITH THE OUTLINED PROCEDURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION ON ANY PORTION OF THE EXTERIOR WATER OR SANITARY SYSTEMS. THIS NOTIFICATION REQUIREMENT SHALL CONTINUE TO THE COMPLETION OF THE WATER AND SANITARY SYSTEMS.
7. UTILITY TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING WATER AND SANITARY TESTING, WITH THE ENGINEER AND MUNICIPALITY PUBLIC WORKS, AT A MINIMUM OF 24 HOURS PRIOR TO THE TEST. BASED ON AVAILABILITY OF ENGINEER'S STAFF, THE ENGINEER SHALL ACCOMMODATE THE TESTING SCHEDULE WITHIN 24 HOURS OF THE CONTRACTOR REQUESTED TEST DATE/TIME.
8. THE CONTRACTOR SHALL PRE-TEST WATER FOR 2 HOURS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF PRE-TEST FAILED.
9. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF PRE-SCHEDULED TESTING AND/OR WATER/SEWER CONSTRUCTION IS CANCELED. IF CONTRACTOR DOES NOT CONTACT ENGINEER AND ENGINEER VISITS THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEER'S FEES/MILEAGE FOR SITE VISIT.
10. THE CONTRACTOR SHALL COORDINATE WATER/SEWER CONSTRUCTION WITH THE MUNICIPALITY. THE CONTRACTOR SHALL LEAVE THRUST BLOCKS AND OTHER REQUIRED SECTIONS OF NEW LINE EXPOSED UNTIL MUNICIPALITY HAS INSPECTED AND APPROVED IT.

# 51 S. Main Apartments

51 South Main Street  
Waterbury, Vermont



### ISSUED FOR PERMIT REVIEW NOT FOR CONSTRUCTION

#### APPLICANT :

Evermorth  
100 Bank Street, Suite 400  
Burlington, Vermont 05401

Downstreet Housing and Community Development  
22 Keith Avenue, Suite 100  
Barre, Vermont 05641

#### PROPERTY INFORMATION:

Address: 51 South Main Street  
Parcel ID: 916-0051V  
SPAN: 696-221-11982  
Area: 0.80 Acres  
Zoning: Downtown Commercial  
Setbacks:  
Front: 0'  
Rear: 0'  
Side: 0'  
Max. Building Height: 50'

#### STAMP:

REV. NO.	REVISIONS/COMMENTS	DATE

#### DRAWING TITLE:

### DETAILS

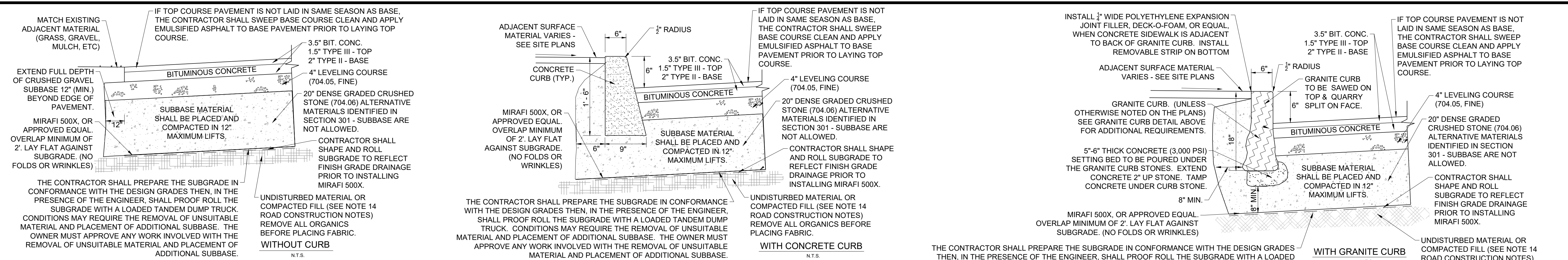
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PROJECT NO.: 23177      SCALE: N/A  
DRAWING NO.:      REV. NO.:

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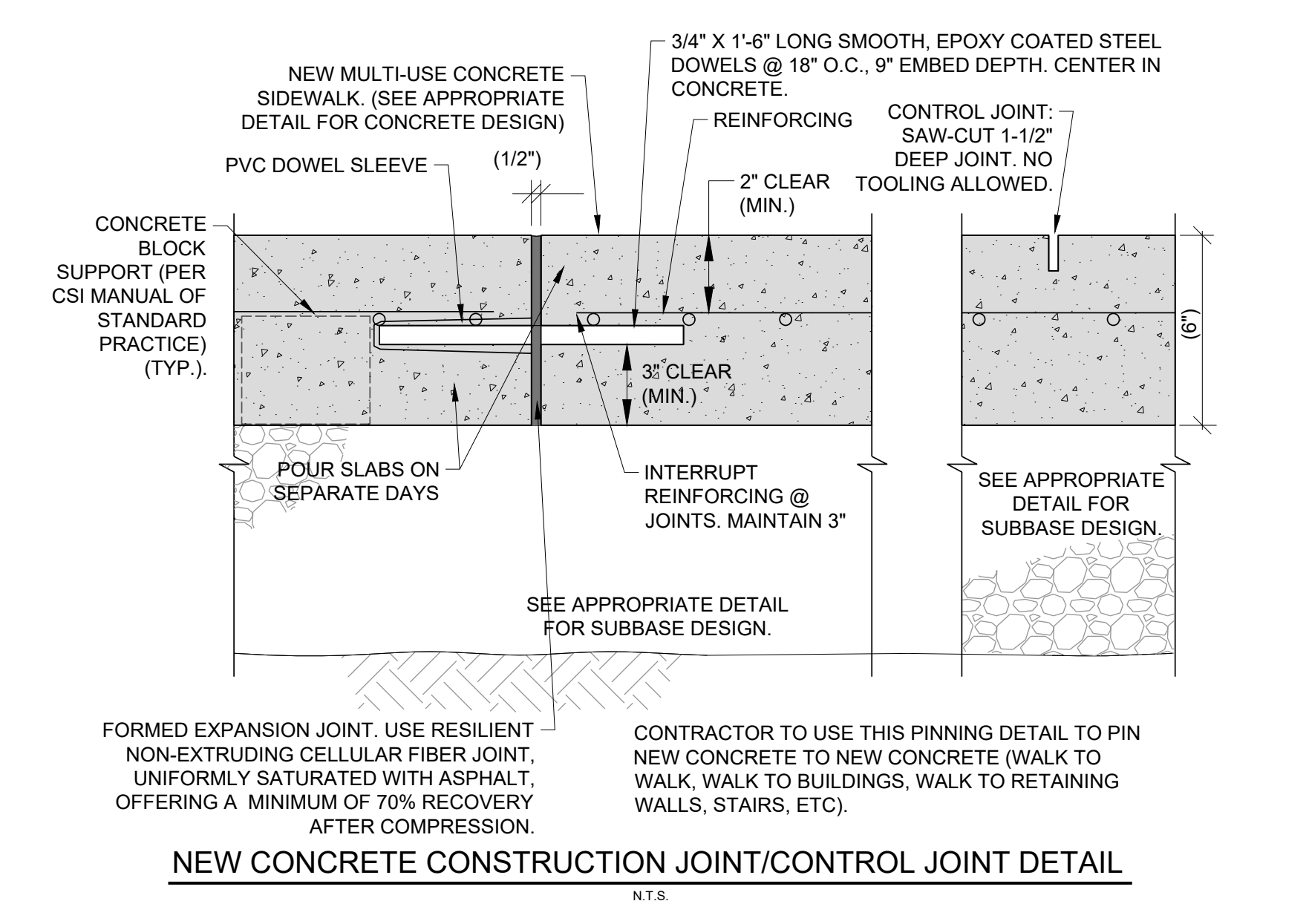
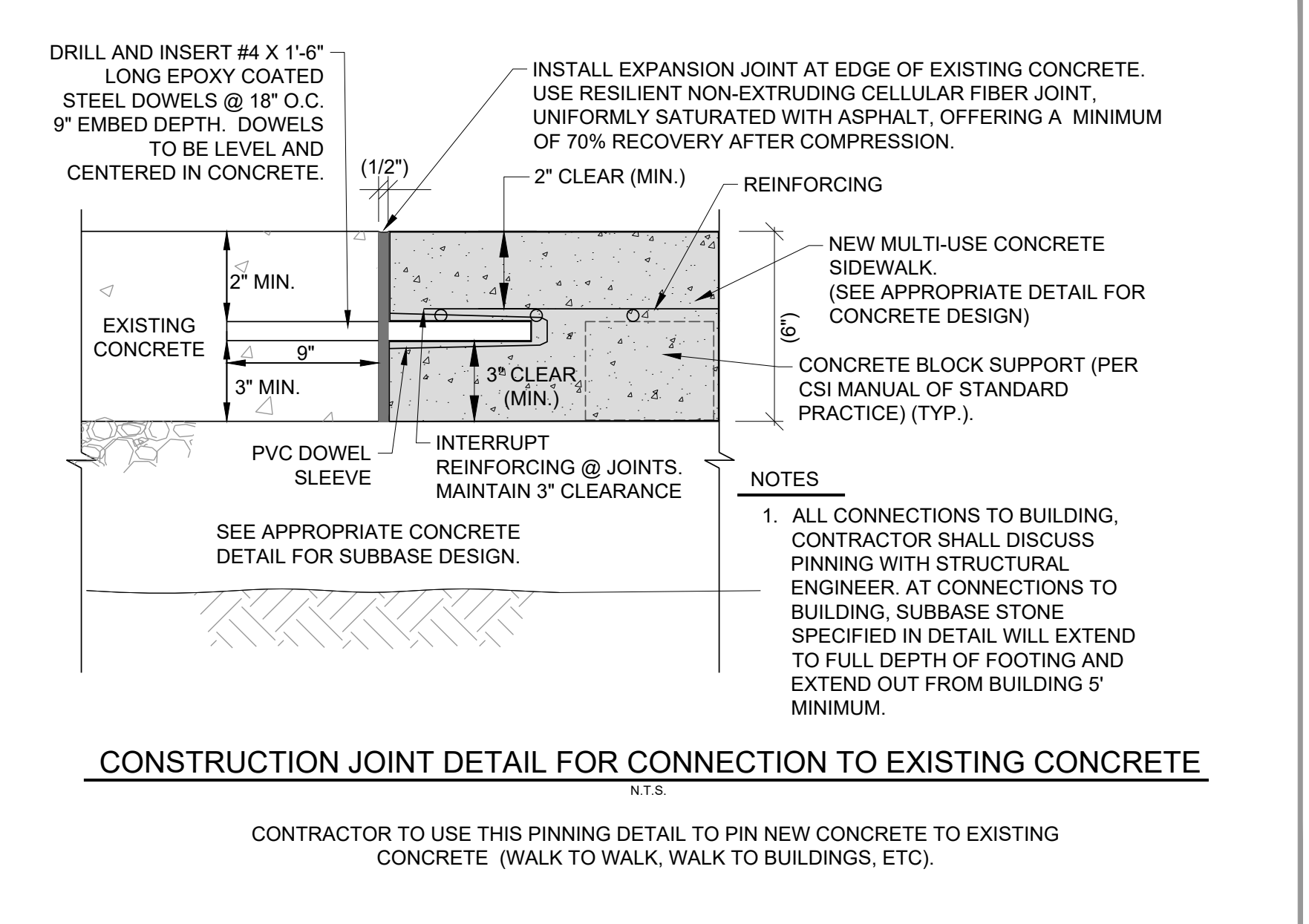
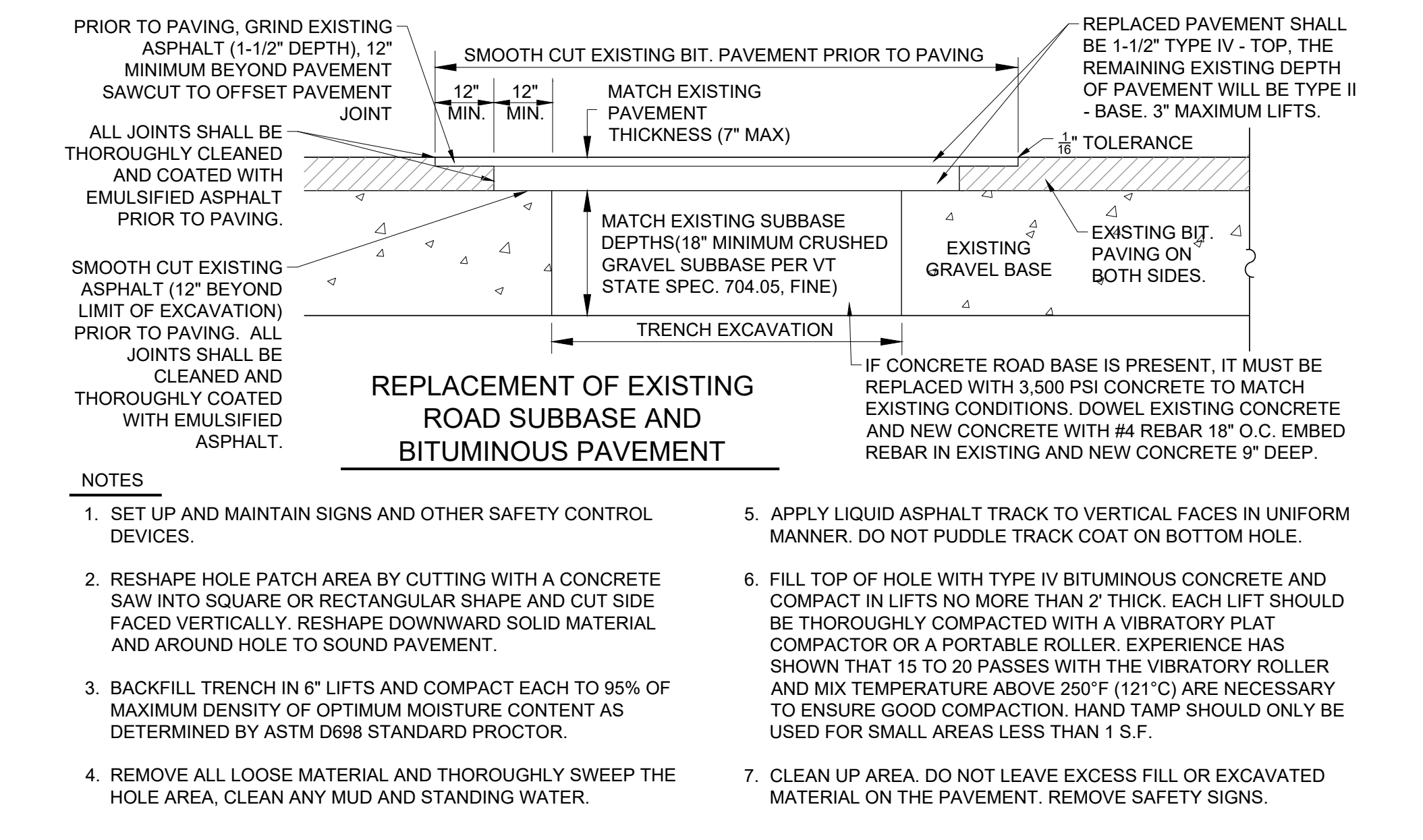






- GRAVEL NOTES**
- THE CONTRACTOR TO TAKE SIEVE ANALYSIS OF GRAVEL AS SOON IT ARRIVES ON SITE.
  - TRAVEL OVER GRAVEL WITH ANY VEHICLE TRACKING SOIL PRIOR TO PLACEMENT OF PAVEMENT IS PROHIBITED.
  - IF GRAVEL IS CONTAMINATED AFTER PLACEMENT, THE SITE CONTRACTOR SHALL BE RESPONSIBLE REMOVAL OF ALL CONTAMINATED GRAVEL AND PAYING FOR ALL RECOMMENDED SIEVE ANALYSIS AS DETERMINED BY THE ENGINEER.
- NOTES FOR CONCRETE CURB**
- ROAD FINISH CONCRETE, ALL JOINTS TO BE TOOL FINISHED, EXPANSION/CONTRACTION JOINTS EVERY 20' WITH 1/2" JOINT FILLER, SCORE 1/3 TOTAL DEPTH AT 10' INTERVALS
  - APPLY 2 COATS OF SPECHEM CURE/SEAL CURE/SEAL COMPOUND TO ALL CONCRETE SURFACES, PER THE MANUFACTURER'S SPECIFICATIONS.
  - CONCRETE MAY NOT BE POURED IF FROST IS PRESENT OR THAWING IN THE SUBGRADE, IF THE TEMPERATURE IS 40° F OR LESS, OR DURING UNSEASONABLE WEATHER CONDITIONS.
  - CONCRETE CURB RADII LESS THAN 200 FT SHALL BE FORMED WITH FLEXIBLE FORMS. ALL CONCRETE USED IN THE CONSTRUCTION OF CONCRETE CURBS SHALL BE AIR ENTRAINED AND MADE WITH PORTLAND CEMENT. THE CONCRETE SHALL MEET SECTION 541 OF THE STATE OF VERMONT STANDARD SPECIFICATION FOR CLASS A CONCRETE AND HAVE 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
  - JOINT FILLER SHALL BE RESILIENT NON-EXTRUDING CELLULAR FIBER JOINT, UNIFORMLY SATURATED WITH ASPHALT, OFFERING A MINIMUM OF 70% RECOVERY AFTER COMPRESSION.
  - THE ENGINEER SHALL BE CONTACTED AT LEAST 24 HOURS PRIOR TO FORMING CONCRETE CURB TO REVIEW LAYOUT.
- PAVEMENT MARKING NOTES**
- TYPICAL TOWN OF WATERBURY PARKING SPACE IS 9'-0" CENTER OF LINE TO CENTER OF LINE MARKED WITH 4" WIDE YELLOW OR WHITE PAINT.
  - ADA SPACE IS YELLOW/WHITE STENCIL, YELLOW/WHITE TRIM, COORDINATE EXACT REQUIREMENTS WITH TOWN OF WATERBURY.
  - PAINT FOR PAVEMENT MARKINGS SHALL BE HYDROPHAST WATERBORNE TRAFFIC PAINT BY FRANKLIN PAINT COMPANY. IT SHALL BE REFLECTIVE, VOC COMPLIANT FAST DRYING, 100% ACRYLIC WATERBORNE TRAFFIC PAINT. PAINT FOR STOP BARS AND CROSSWALKS SHALL BE WHITE ALL OTHER LINE STRIPING SHALL BE YELLOW. CONFIRM PAINT COLOR WITH TOWN OF WATERBURY AND OWNER.
  - TRAFFIC PAINT SHALL BE APPLIED WITH A UNIFORM THICKNESS AND AT A RATE SUCH THAT NO PAVEMENT IS VISIBLE AFTER DRYING. ADDITIONAL PAINT APPLICATION WILL BE REQUIRED IF UNDERLYING PAVEMENT IS VISIBLE.
- NOTES FOR GRANITE CURB**
- SEE GRANITE CURB SECTION DETAIL FOR ADDITIONAL REQUIREMENTS.
  - ALL GRANITE CURB SHALL BE CUT TO A RADII SHOWN ON PLANS. SMALL STRAIGHT TANGENT SECTIONS OF GRANITE CURB ARE NOT ACCEPTABLE.
  - PROVIDE A 6" TAPER TO FLUSH AT END OF CURB
  - JOINTS BETWEEN STONES TO BE MORTARED PRIOR TO BACKFILLING. SEE VAOT STANDARD SPECIFICATIONS.

- ROAD CONSTRUCTION NOTES**
- ALL REFERENCES TO ROAD SHALL APPLY TO PARKING AREAS AS WELL.
  - NEW ROAD SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE DRAWINGS. THE ROAD AND UTILITY LOCATIONS SHALL BE AS TYPICALLY DETAILED UNLESS OTHERWISE SHOWN.
  - ALL ROAD AND PARKING CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE VERMONT AGENCY OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" 2018, HEREAFTER CALLED VERMONT HIGHWAY SPECIFICATIONS. SPECIFICATIONS FOUND ON THESE PLANS, AND CITY/TOWN SPECIFICATIONS. IN CASE OF CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY AS DETERMINED BY THE ENGINEER. ALL GRAVEL AND STORM SEWER STRUCTURES SHALL BE APPROVED BY TOWN ENGINEER.
  - THE CONTRACTOR SHALL FOLLOW VERMONT HIGHWAY SPECIFICATIONS (2018) SECTION 203.11 FOR PLACING AND SPREADING EMBANKMENTS.
  - FILL MATERIAL FOR ROAD EMBANKMENT SHALL BE APPROVED BY THE ENGINEER. FILL SHALL BE PLACED IN 12" LIFTS, WETTED AND COMPACTED WITH SATISFACTORY COMPACTION EQUIPMENT TO 95% OF MAXIMUM DENSITY (STANDARD PROCTOR).
  - ROAD IN FILL SECTIONS SHALL BE PLACED AND COMPACTED A MINIMUM OF 3 FEET ABOVE TOP OF ANY UTILITY TO BE INSTALLED BEFORE TRENCH IS EXCAVATED FOR PIPE PLACEMENT. IN TRENCHES AND CUT SECTIONS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHEETING, SHORING AND BRACING TO MAINTAIN COMPLIANCE WITH ALL OSHA/VOSHA REGULATIONS.
  - METHODS FOR CONSTRUCTION OF SUBGRADE SHALL CONFORM TO VERMONT HIGHWAY SPECIFICATIONS (2018) 203.12 OR AS DETERMINED BY THE ENGINEER.
  - ANY SUBGRADE OR SUBBASE DISTURBED BY CONTRACTOR, OR RENDERED UNSUITABLE BY CONSTRUCTION MACHINERY, SHALL BE REMOVED AND REPLACED WITH APPROVED GRANULAR BACKFILL AT THE CONTRACTOR'S EXPENSE. THE SUBGRADE SHALL BE COMPACTED TO ATTAIN AT LEAST 95% OF THE MAXIMUM DENSITY (STANDARD PROCTOR) BEFORE PLACING ROAD OR EMBANKMENT MATERIALS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF COMPACTION IN THE ROAD AND UTILITY TRENCHES.
  - SAND FILL SHALL CONFORM TO VERMONT HIGHWAY SPECIFICATIONS (2018) 703.03, TABLE 703.03A. GRANULAR BORROW SHALL CONFORM TO THE VERMONT HIGHWAY SPECIFICATIONS 703.04 GRANULAR BORROW, TABLE 703.04A.
  - GRAVEL SUBBASE FOR PAVEMENT SHALL CONFORM TO VERMONT HIGHWAY SPECIFICATIONS (2018) 704.05, TABLE 704.05A, COARSE.
  - LEVELING COURSE SHALL CONFORM TO VERMONT HIGHWAY SPECIFICATIONS (2018) 704.05, TABLE 704.05A, FINE. SHOULDERS SHALL CONFORM TO SECTION 704.12, AGGREGATE FOR SHOULDERS.
  - BITUMINOUS CONCRETE PAVEMENT SHALL CONFORM TO VERMONT HIGHWAY SPECIFICATIONS (2018) SECTION 404 AND 406. BINDER COURSE SHALL BE TYPE II, AND FINISH WEARING COURSE SHALL BE TYPE III OR IV. BASE COURSE PAVING TO BE PLACED FIRST YEAR, SURFACE COURSE TO BE PLACED THE SECOND OR THIRD YEAR, DETERMINED BY THE ENGINEER.
  - EMBANKMENT FILL FOR ROAD AND PARKING SHALL BE A SIEVE SPECIFICATION AS FOLLOWS:
- | SIEVE | % FINER    |
|-------|------------|
| 4"    | 100        |
| 2"    | 85-100     |
| #4    | 60-100     |
| #200  | 12 MAXIMUM |
- IF PROOF ROLL FAILS, CONTRACTOR SHALL REMOVE THE SITE SOIL AND REPLACE IT WITH SAND WITH THE ABOVE SPEC. UNTIL A PROOF ROLL CAN BE PLACED WITHOUT FAILING. ENGINEER WILL JUDGE PASS/FAILURE OF PROOF ROLL, THIS WILL BE PERFORMED WITHOUT FURTHER COSTS TO THE OWNER.



# 51 S. Main Apartments

51 South Main Street  
Waterbury, Vermont



## ISSUED FOR PERMIT REVIEW NOT FOR CONSTRUCTION

**APPLICANT :**  
Evermorth  
100 Bank Street, Suite 400  
Burlington, Vermont 05401

Downstreet Housing and Community Development  
22 Keith Avenue, Suite 100  
Barre, Vermont 05641

**PROPERTY INFORMATION:**  
Address: 51 South Main Street  
Parcel ID: 916-0051V  
SPAN: 696-221-11982  
Area: 0.80 Acres  
Zoning: Downtown Commercial  
Setbacks:  
Front: 0'  
Rear: 0'  
Side: 0'  
Max. Building Height: 50'

STAMP:

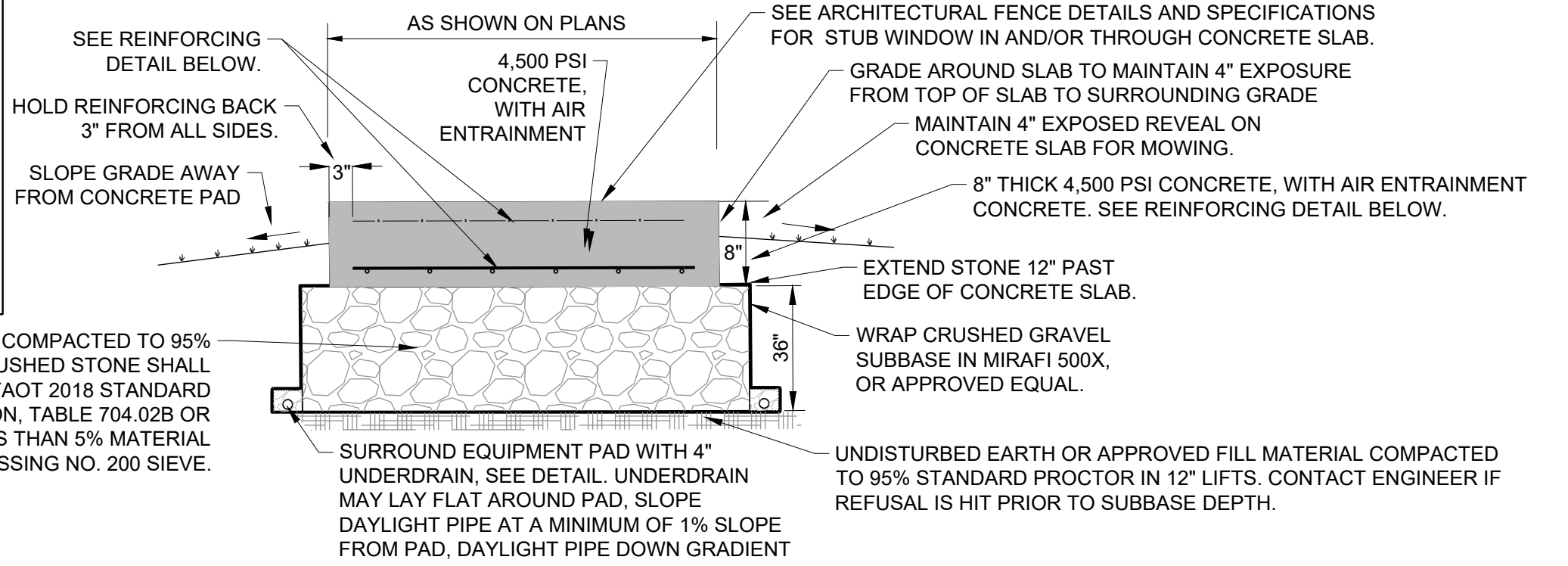
REV. NO.	REVISIONS/COMMENTS	DATE

DATE ISSUED: 08/21/23  
DRAWN BY: GTD CHECKED BY: GTD  
PROJECT NO.: 23177 SCALE: N/A  
DRAWING NO.: C-2.02 REV. NO.:  
DWG NAME: 19a01-19a02-19a03-19a04.dwg



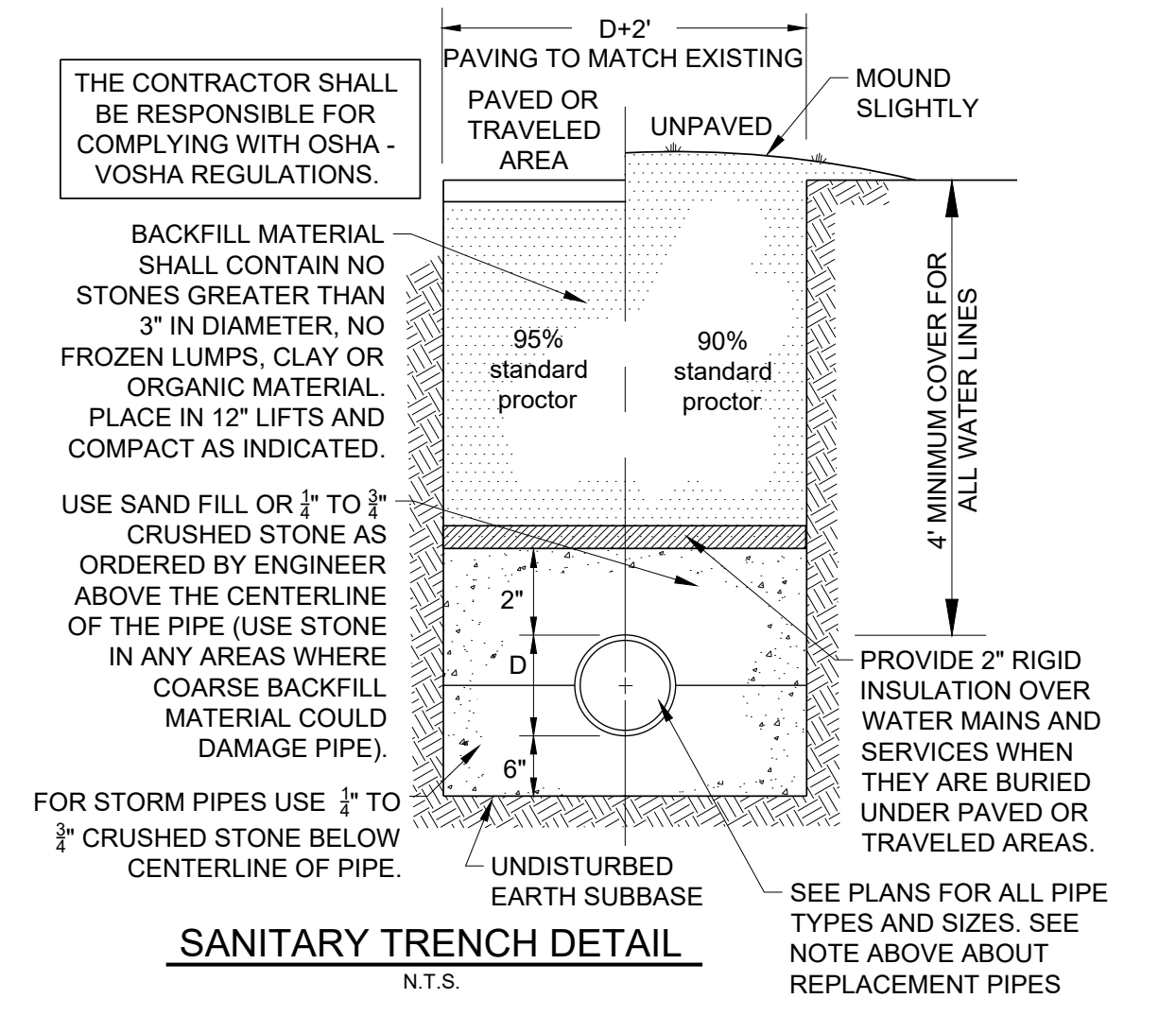
# Exhibit C4

**NOTE: STRUCTURES, FENCING, AND/OR BOLLARDS ARE PROHIBITED FROM BEING MOUNTED DIRECTLY TO THE CONCRETE PAD. STRUCTURES, FENCING, AND BOLLARDS SHALL BE DESIGNED TO STUB THROUGH CONCRETE SLAB WITH THEIR SUPPORTS EXTENDING BELOW THE PAD.**

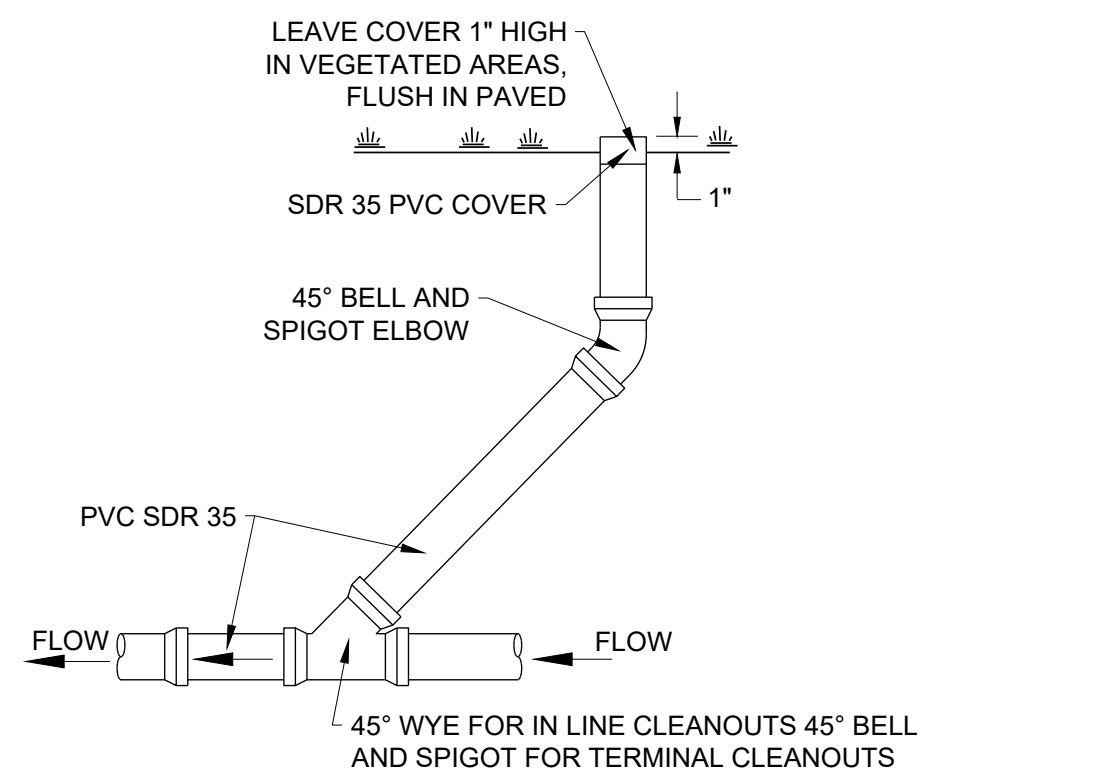


- NOTES**
- COLD WEATHER CONSTRUCTION PROCEDURES:
    - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTINUOUSLY PROTECT SOILS, CONCRETE, MASONRY AND OTHER BUILDING MATERIALS FROM DAMAGE DUE TO COLD TEMPERATURES UNTIL THE SLAB HAS BEEN TURNED OVER TO THE OWNER.
    - THIS SHALL INCLUDE TEMPORARY ENCLOSURES, INSULATED BLANKETS AND TEMPORARY HEATING. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE ANY DAMAGED OR DEFECTIVE WORK, IN A MANNER APPROVED BY THE ARCHITECT/ENGINEER.
    - ALL PROTECTIVE AND CORRECTIVE WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
  - PERFORM WORK IN ACCORDANCE WITH ACI 301 STANDARDS AND RECOMMENDED PRACTICES.
  - ACQUIRE CEMENT AND AGGREGATE FROM SAME SOURCE FOR ALL WORK.
  - CONFORM TO ACI 305R WHEN CONCRETING DURING HOT WEATHER.
  - CONFORM TO ACI 306R WHEN CONCRETING DURING COLD WEATHER.
  - CEMENT ASTM C150, TYPE I, GRAY - NORMAL; DO NOT CHANGE SOURCE OF MANUFACTURER OF CEMENT DURING THE COURSE OF THE WORK.
  - FINE AND COARSE AGGREGATES ASTM C33.
  - WATER CLEAN, POTABLE AND NOT DETRIMENTAL TO CONCRETE.
  - AIR ENTRAINMENT ASTM C260.
  - CHEMICAL ASTM C494 TYPE A - WATER REDUCING.
  - BONDING AGENT SIKA ARMATEC 110 EPOXEM BONDING AGENT, NO-SOLVENT THREE COMPONENT EPOXY AS MANUFACTURED BY SIKA OR EQUIVALENT.
  - NON-SHRINK GROUT PREMIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS; CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH OF 2,400 PSI IN 48 HOURS AND 7,000 PSI IN 28 DAYS; MANUFACTURED BY FIVE STAR PRODUCTS, INC. OR APPROVED EQUIVALENT.
  - FORM RELEASE AGENT WATER BASED, NON TOXIC, ENVIRONMENTALLY FRIENDLY PRODUCT WHICH WILL NOT STAIN CONCRETE, OR ABSORB MOISTURE, OR IMPAIR NATURAL BONDING OR COLOR CHARACTERISTICS OF COATING INTENDED FOR USE ON CONCRETE.
  - MIX CONCRETE IN ACCORDANCE WITH ACI 304. DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94.
  - THE MIX DESIGN SHALL MEET THE REQUIREMENTS OF ACI 318, CHAPTER 19. INCLUDE THE WATER-CEMENT RATIO, AIR CONTENT, SLUMP, ADMIXTURES, AND THE PLAN TO BE USED.
  - CONCRETE MIXTURES SHALL CONSIST OF THE APPROPRIATE PROPORTIONS OF PORTLAND CEMENT, WATER, COARSE AND FINE AGGREGATE, AIR ENTRAINING AGENT AND WATER REDUCING AGENT FOR THE INTENDED APPLICATION.
  - PROVIDE CONCRETE TO THE FOLLOWING CRITERIA
    - COMPRESSIVE STRENGTH AT 28 DAYS SLABS ON GRADE = 4,500 PSI WITH AIR ENTRAINMENT
    - SLUMP 2-4 INCHES BEFORE ADDITION OF WATER REDUCER, 6-8 INCHES AFTER THE ADDITION OF WATER REDUCER
    - MAXIMUM WATER TO CEMENT RATIO= 0.5
  - USE ACCELERATING ADMIXTURES IN COLD WEATHER ONLY WHEN APPROVED BY ARCHITECT/ENGINEER. USE OF ADMIXTURES WILL NOT RELAX COLD WEATHER PLACEMENT REQUIREMENTS.
  - USE CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
  - USE SET RETARDING ADMIXTURES DURING HOT WEATHER ONLY WHEN APPROVED BY ARCHITECT/ENGINEER.

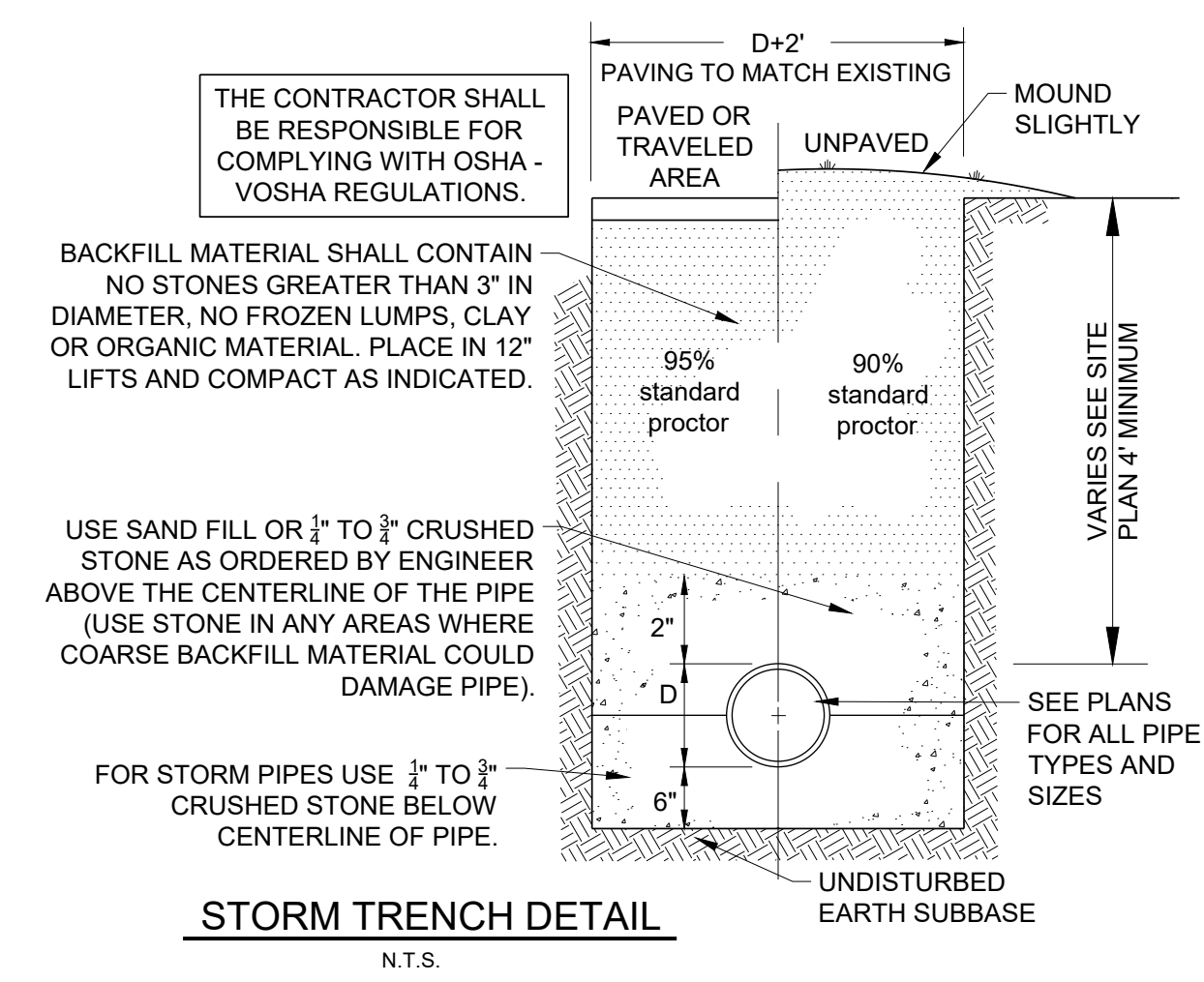
**CONCRETE SLAB DETAIL FOR EQUIPMENT PAD (DUMPSTER LOCATION)**  
N.T.S.



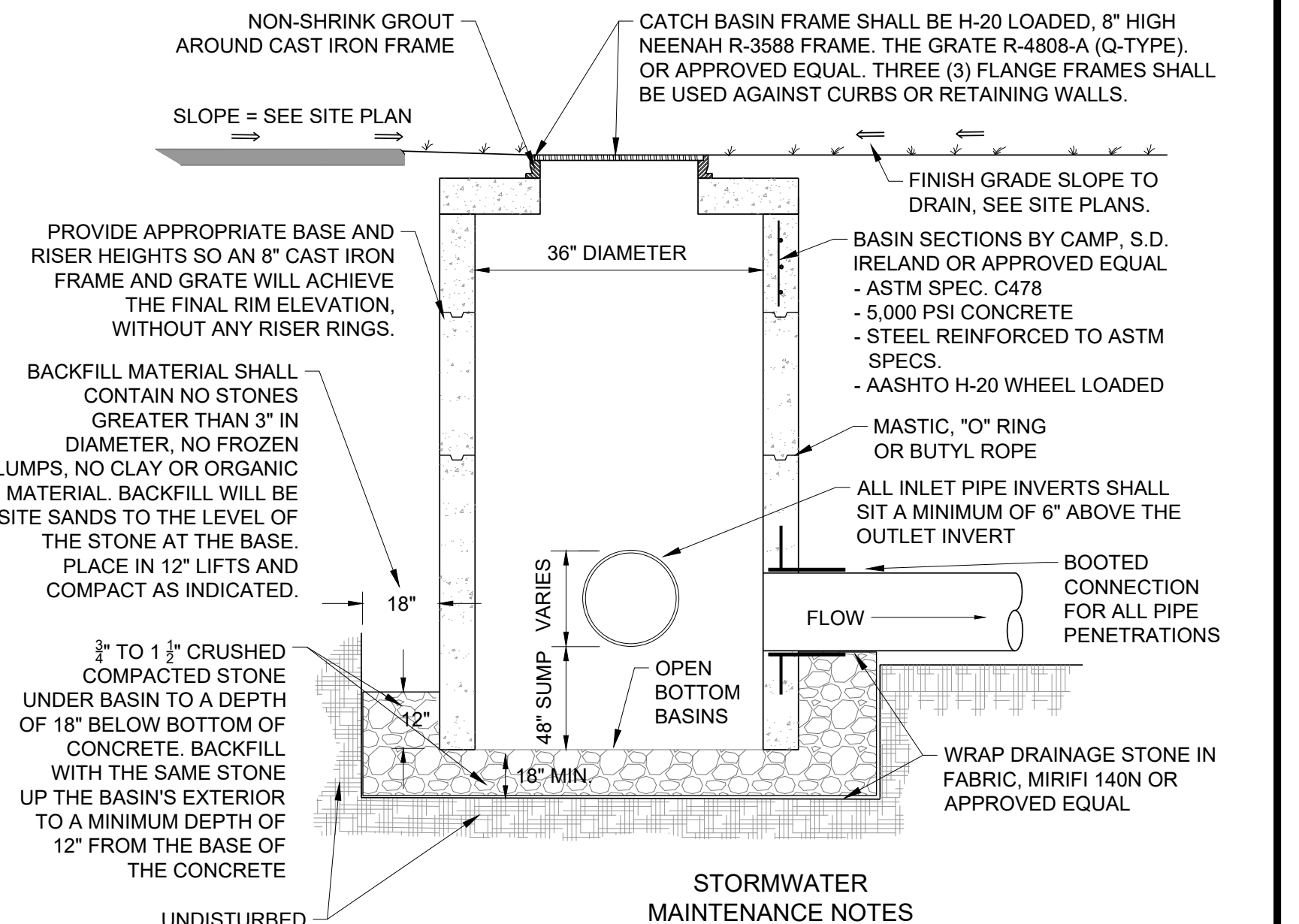
- SANITARY MAINS NOTES**
- THE PIPE AND FITTINGS FOR SANITARY SEWER SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D3034 FOR 4" - 15" SDR 35 AND F679 FOR 18" - 27". ALL PIPE SHALL BE LAID TO THE LINE AND GRADE SHOWN ON THE PLANS.
    - ALL PIPE SHALL BE LAID TO THE LINE AND GRADE AS SHOWN ON THE PLANS.
    - PVC SDR 35 - POLYVINYL CHLORIDE PIPE - PIPE SHALL CONFORM TO ASTM SPECIFICATION D-3034 OR F679, (PVC) SEWER PIPE AND FITTINGS, SDR35.
    - PIPE WITH RECYCLED CONTENT IS NOT ACCEPTABLE.
  - PVC SDR 35 SANITARY AND STORM PIPES SHALL BE INSTALLED SO THAT THE INITIAL DEFLECTION SHALL BE LESS THAN 5%.
  - PVC SDR 35 PIPE SHALL NOT BE INSTALLED WHEN THE TEMPERATURE DROPS BELOW 32° F OR GOES ABOVE 100° F UNLESS PRIOR APPROVAL IS OBTAINED FROM THE ENGINEER. EXTRA CARE IS REQUIRED WHEN HANDLING PVC PIPE DURING COLD WEATHER. PVC PIPE SHALL NOT BE STORED OUTSIDE AND EXPOSED TO PROLONGED PERIODS OF SUNLIGHT AS PIPE DISCOLORATION AND REDUCTION IN PIPE IMPACT STRENGTH WILL OCCUR. IF PVC PIPE IS TO BE STORED ON SITE FOR 1 MONTH OR LONGER IT SHALL BE COVERED WITH CANVAS OR OTHER OPAQUE MATERIAL.
  - THE INSTALLED GRAVITY SANITARY SEWER PIPE SHALL BE LOW PRESSURE AIR TESTED IN THE PRESENCE OF THE ENGINEER. AFTER CLEANING THE PIPE, THE PIPE SECTION (MANHOLE TO MANHOLE) SHALL BE TESTED ACCORDING TO THE PROCEDURES OUTLINED IN THE STATE OF VERMONT WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES, EFFECTIVE APRIL 12, 2019.



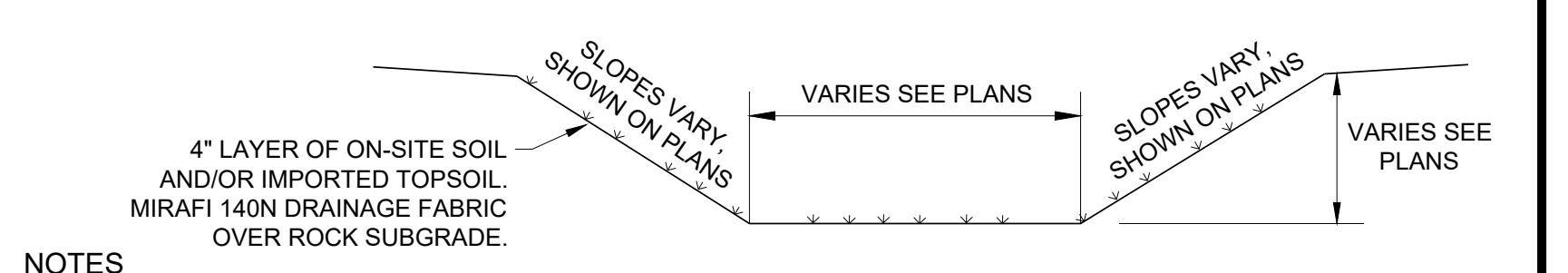
**STORM/SANITARY SEWER CLEANOUT DETAIL**  
N.T.S.



**STORM TRENCH DETAIL**  
N.T.S.



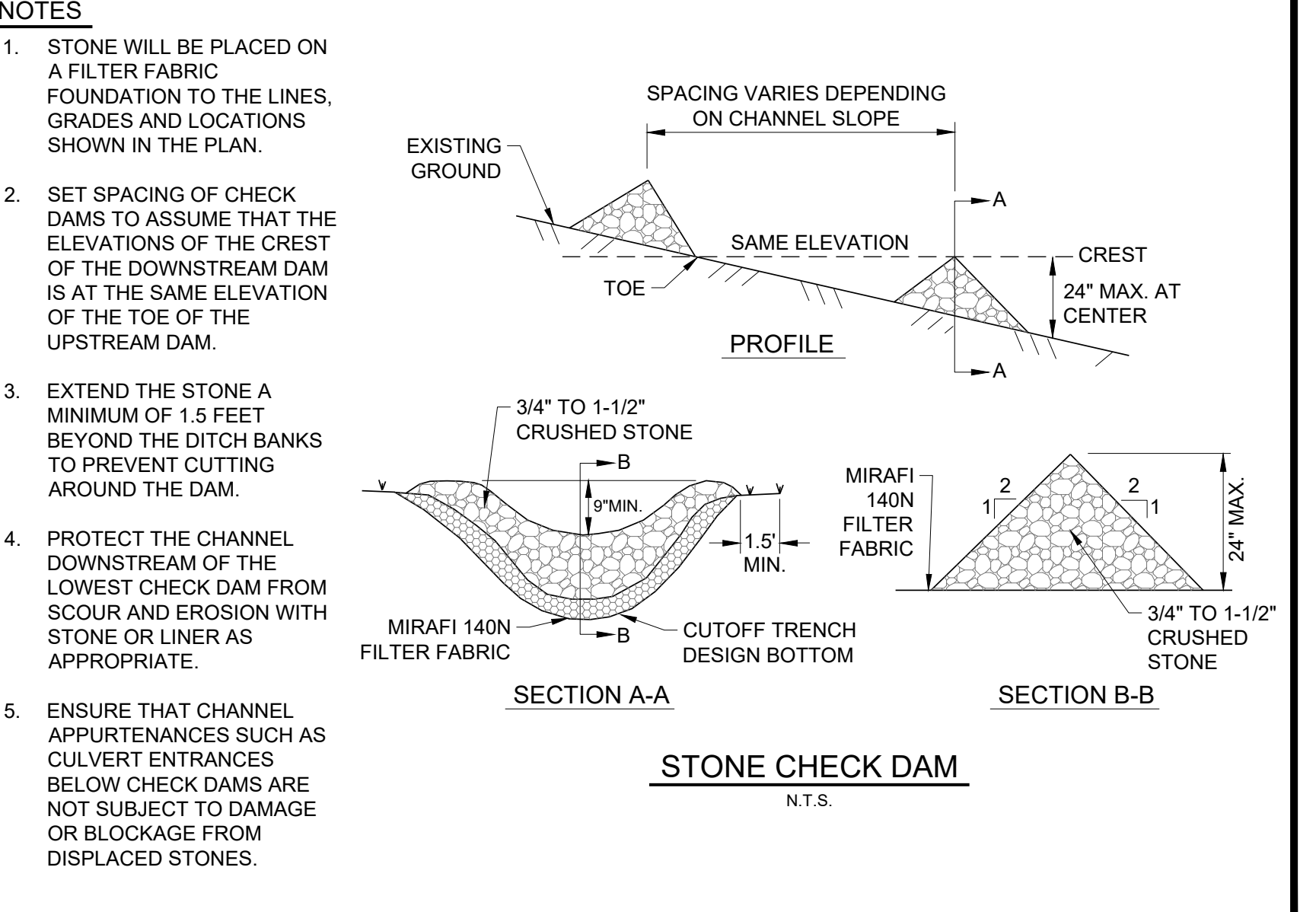
- STORMWATER MAINTENANCE NOTES**
- INSPECT FOR PROLONGED STANDING WATER AFTER RAIN EVENTS
  - INSPECT FOR EROSION, ACCUMULATED SEDIMENT AROUND RIM, MAKE SURE WATER STILL DRAINS TO BASIN. REMOVE SEDIMENT, TRASH, OR ORGANICS IN BASIN IF NOTICEABLE DURING INSPECTION.



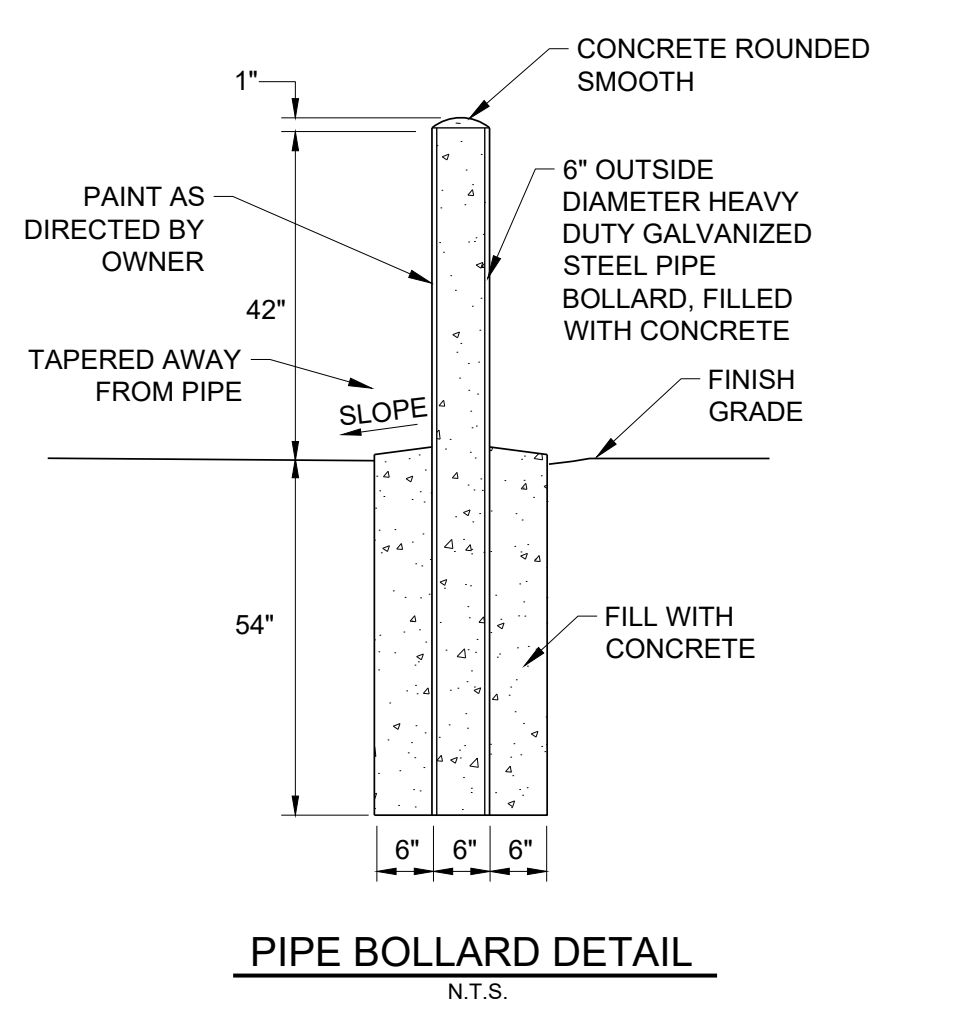
- NOTES**
- TYPICAL GRASS SWALE & INFILTRATION BASIN CROSS SECTION. SEE PLAN VIEW FOR LOCATIONS.
  - MAXIMUM SIDE SLOPES TO BE 3:1.
  - DURING CONSTRUCTION TEMPORARILY SEEDED AND HEAVILY MULCHED. POST CONSTRUCTION CONTRACTOR SHALL RE-GRADE ANY EROSION, REMOVE BUILD UP SEDIMENTS, PERMANENT SEED AND HEAVILY RE-MULCH.
  - CROSS-SECTION SHALL BE EXCAVATED TO NEAT LINES AND GRADES. OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH MOIST SOIL, COMPACTED TO DENSITY OF SURROUNDING MATERIAL.
  - ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF IN APPROVED UPLAND AREA (PER OSPC) SUCH THAT IT DOES NOT INTERFERE WITH FUNCTION.
  - STORING SNOW DURING THE WINTER MONTHS IN THE INFILTRATION BASIN IS PROHIBITED. SNOW REMOVAL CONTRACTOR WILL NOT USE THESE AREAS FOR SNOW DISPOSAL.

**GRASS SWALE & INFILTRATION BASIN CROSS SECTION**  
N.T.S.

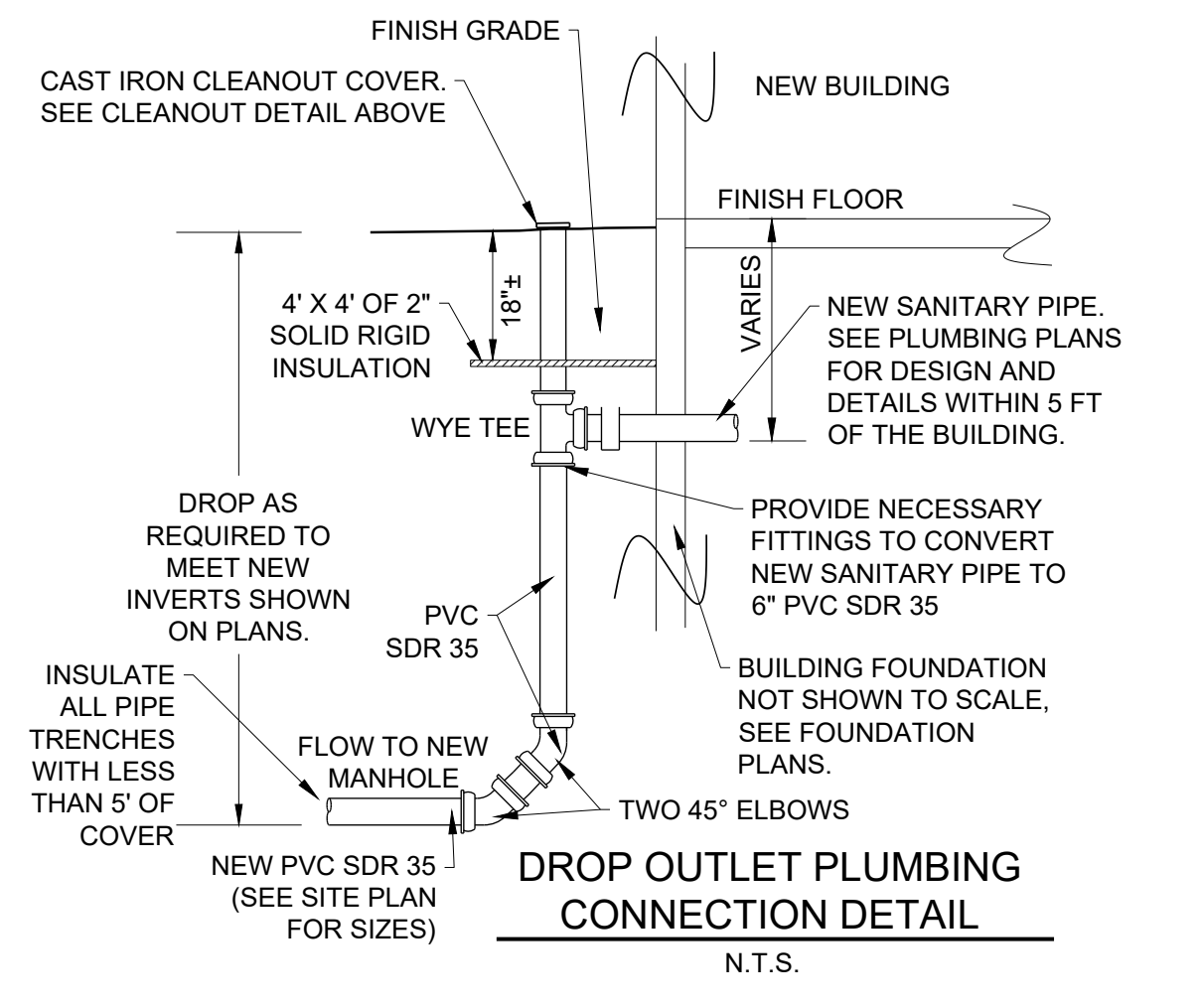
ALL CONNECTIONS TO MUNICIPAL SEWER, WATER, AND STORMWATER UTILITIES INSTALLED ON THE PROJECT TO BE OBSERVED BY THE ENGINEER AND THE AUTHORIZED REPRESENTATIVE OF THE UTILITY, THE TOWN OF WATERBURY, AND THE WATER DISTRICT PRIOR TO BACKFILLING THE UTILITY BEING INSTALLED. THE ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE WORK IS PLANNED TO BEGIN. ALL DETAILS ARE SUBJECT TO THE MOST RECENT REVISIONS OF THE WATER DISTRICT SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF WATER LINES AND APPURTENANCES. PROJECT SHALL FOLLOW ALL DETAILS IN THIS PLAN SET, WATERBURY DPW SPECIFICATIONS, AND THE WATER DISTRICT SPECIFICATIONS. THE MOST STRINGENT DETAILS WILL APPLY.



**STONE CHECK DAM**  
N.T.S.



**PIPE BOLLARD DETAIL**  
N.T.S.



**DROP OUTLET PLUMBING CONNECTION DETAIL**  
N.T.S.

# 51 S. Main Apartments

101 South Main Street  
Waterbury, Vermont



**ISSUED FOR PERMIT REVIEW  
NOT FOR CONSTRUCTION**

**APPLICANT:**  
Evermorth  
100 Bank Street, Suite 400  
Burlington, Vermont 05401

Downstreet Housing and Community Development  
22 Keith Avenue, Suite 100  
Barre, Vermont 05641

**PROPERTY INFORMATION:**  
Address: 51 South Main Street  
Parcel ID: 916-0051V  
SPAN: 696-221-11982  
Area: 0.80 Acres  
Zoning: Downtown Commercial  
Setbacks:  
Front: 0'  
Rear: 0'  
Side: 0'  
Max. Building Height: 50'

STAMP:

REV. NO.	REVISIONS/COMMENTS	DATE

DRAWING TITLE:  
**DETAILS**

DATE ISSUED: 08/21/23  
DRAWN BY: GTD  
CHECKED BY: GTD  
PROJECT NO.: 23177  
SCALE: N/A  
DRAWING NO.:  
REV. NO.:

**C-2.03**



## WINTER EROSION CONTROL PROCEDURES

(FOR ANY EARTH WORK PERFORMED BETWEEN OCTOBER 15TH AND APRIL 15TH)

### WINTER EROSION CONTROL NARRATIVE:

OBJECTIVE - ANY SITE WORK PERFORMED LATER THAN OCTOBER 15TH WILL RESULT IN EXPOSED SOIL THROUGH THE WINTER. THIS PRESENTS A POTENTIAL FOR EROSION THROUGH THE WINTER. THE WINTER EROSION CONTROL MEASURES ARE INTENDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION ZONE DURING THAW AND RAINSTORMS.

### WINTER EROSION CONTROL SEQUENCE:

ON-SITE COORDINATOR - THE ON-SITE COORDINATOR SHALL BE SURE ALL EROSION CONTROL MEASURES REQUIRED FOR WINTER CONSTRUCTION ARE INSTALLED BY OCTOBER 15TH AND PRIOR TO GROUND FREEZING. IF A PERMITTED AREA CAN BE LEFT UNDISTURBED UNTIL THE SPRING THE CONTRACTOR SHALL MAKE EVERY EFFORT TO LIMIT THESE AREAS OF DISTURBANCE.

THE CONTRACTOR SHALL STABILIZE ANY PORTION OF THE SITE THAT IS BEING WORKED AND DISTURBED PRIOR TO BEGINNING CONSTRUCTION AT ANOTHER AREA OF THE SITE. AT NO TIME DURING WINTER CONSTRUCTION SHALL THERE BE MORE THAN 1 ACRE OF EXPOSED SOIL ON SITE.

ANTICIPATED WINTER CONSTRUCTION ACTIVITIES WILL INCLUDE ALL ASPECTS OF THE PROJECT PROPOSED DURING SUMMER CONSTRUCTION. THIS IS A CONTINUATION OF WORK WHICH WAS NOT COMPLETED DURING THE SUMMER. MAJOR GRADING IS EXPECTED TO BE COMPLETE BEFORE OCTOBER 15TH.

LIMITS OF DISTURBANCE - LOD WILL BE MOVED AND/OR REPLACED TO REFLECT THE BOUNDARY OF WINTER WORK. CONTRACTOR WILL MAINTAIN A MINIMUM 25' BUFFER FROM PERIMETER CONTROLS TO ALLOW FOR SNOW CLEARING AND MAINTENANCE.

SNOW STORAGE ON SITE - CONTRACTOR WILL CREATE A SNOW MANAGEMENT PLAN. PLAN WILL IDENTIFY LOCATIONS FOR ADEQUATE SNOW STORAGE AND CONTROL SNOW MELT. SNOW STORAGE WILL BE DOWN GRADIENT OF ALL DISTURBED AREAS AND WILL NOT PROHIBIT THE FUNCTION OF ALL PERMANENT STORMWATER TREATMENT STRUCTURES. CONTRACTOR SHALL KEEP ALL DRAINAGE STRUCTURES OPEN AND FREE OF SNOW AND ICE DAMS.

INSTALL SILT FENCE - SILT FENCE SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE WINTER CONSTRUCTION AREAS AND SOIL STOCKPILE AREAS, AS SHOWN ON THE PLAN, BY OCTOBER 15TH. IF THE GROUND IS UNFROZEN THE SILT FENCE SHALL BE DUG IN AS NORMAL. IF THE GROUND IS FROZEN CONTACT THE ENGINEER FOR ALTERNATE OPTIONS (STONE BERM, FILTREXX SILT SOXX, STRAW WATTLES, ETC.).

STABILIZED CONSTRUCTION ENTRANCE - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL STABILIZED CONSTRUCTION ENTRANCES TO PREVENT SEDIMENT TRACKING OFF SITE. CONTRACTOR SHALL ENLARGE THE WIDTH OF ACCESS TO PROVIDE ADDITIONAL ROOM FOR SNOW STOCKPILING, IF NEEDED. ADDITIONAL STONE SHALL BE ADDED OR THE LENGTH SHALL BE INCREASED, IF ICE AND SNOW LIMITS CONSTRUCTION ENTRANCES ABILITY TO HOLD SEDIMENTS ON SITE.

WINTER STABILIZATION - ALL DISTURBED AREAS NOT INVOLVED IN WINTER CONSTRUCTION SHALL BE AT LEAST TEMPORARILY STABILIZED BY OCTOBER 15. AFTER OCTOBER 15TH, ALL AREAS DISTURBED DURING WINTER CONSTRUCTION SHALL BE STABILIZED DAILY TO PREVENT EXPOSURE FROM RAIN EVENTS AND ACCUMULATION OF SNOWFALL (SEE EXCEPTIONS BELOW). CONTRACTOR SHALL ADD ADDITIONAL STONE, AS NECESSARY, TO PROVIDE STABILIZATION THROUGH WINTER CONSTRUCTION ON ALL AREAS WHERE CONSTRUCTION TRAFFIC IS ANTICIPATED.

### EXCEPTIONS:

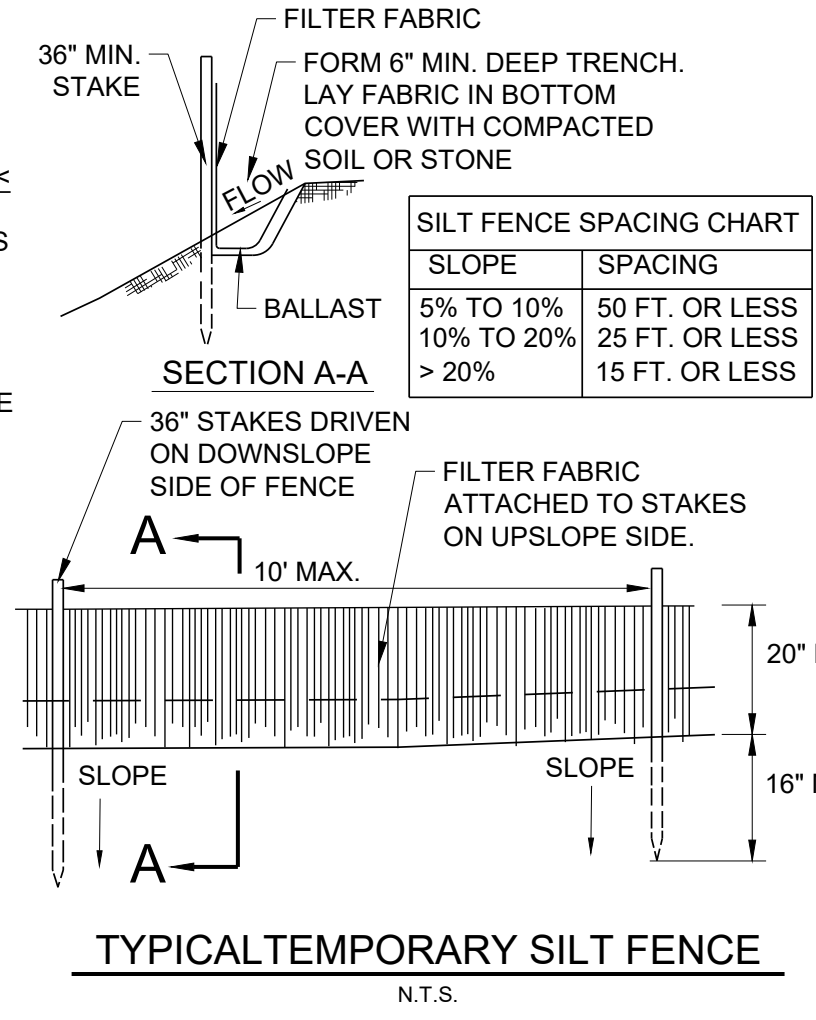
- HYDROSEEDING AFTER OCTOBER 15TH AND BEFORE APRIL 15TH MUST BE STABILIZED WITH STRAW MULCH OR EROSION CONTROL MATTING.\*
- SNOW AND/OR ICE MUST BE REMOVED TO, AT MOST, ONE INCH PRIOR TO APPLYING MULCH OR EROSION CONTROL STABILIZATION MATTING.
- IF NO PRECIPITATION, WITHIN 24 HOURS, IS FORECASTED AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
- DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, REQUIRE STABILIZATION AT THE END OF EACH WORK WEEK.

MAINTENANCE - ALL DISTURBED AREAS SHALL BE MONITORED BY THE CONTRACTOR AND THE ON-SITE PLAN COORDINATOR IN ACCORDANCE WITH THE INSPECTION REQUIREMENT OUTLINED IN THE INDIVIDUAL CONSTRUCTION STORMWATER PERMIT. THE CONTRACTOR AND ON-SITE PLAN COORDINATOR SHALL EVALUATE THE SITE AFTER A THAW OR RAINSTORM. THE CONTRACTOR OR ON-SITE PLAN COORDINATOR SHALL NOTIFY THE ENGINEER IF ANY EROSION CONTROL MEASURES APPEAR TO BE INADEQUATE. THE CONTRACTOR OR ON-SITE PLAN COORDINATOR SHALL IMMEDIATELY (WITHIN THE SAME BUSINESS DAY) IMPLEMENT ANY FURTHER EROSION CONTROL MEASURES SPECIFIED BY THE ENGINEER. THE CONTRACTOR OR ON-SITE PLAN COORDINATOR SHALL ADD MULCH, AS NECESSARY, THROUGHOUT THE WINTER AFTER THAWS OR RAINSTORMS. THE MULCH DEPTH SHALL BE BROUGHT UP TO 2". THE MULCH AND SILT FENCE SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER (70% STABILIZATION) IS ESTABLISHED IN THE SPRING. THE SITE SHALL BE REMULCHED AND RESEEDED, IN THE SPRING, AS REQUIRED TO ESTABLISH A VIGOROUS PERMANENT GROUND COVER.

INSPECTION - THE ON-SITE COORDINATOR SHALL BE RESPONSIBLE FOR, AT A MINIMUM, DAILY WRITTEN INSPECTIONS WHILE THE SITE IS DISTURBED OR WEEKLY IF EVERYTHING IS STABILIZED BUT CONSTRUCTION IS ON-GOING. IF, DURING WINTER CONSTRUCTION, EARTH DISTURBANCE ACTIVITIES TEMPORARILY CEASE AND THE SITE HAS BEEN FULLY STABILIZED, INSPECTION AND MONITORING REQUIREMENTS FOR THE ON-SITE COORDINATOR MAY BE REDUCED TO ONCE PER MONTH MINIMUM. ALL INSPECTION SHEETS SHALL BE KEPT ON SITE AND BE AVAILABLE UPON REQUEST.

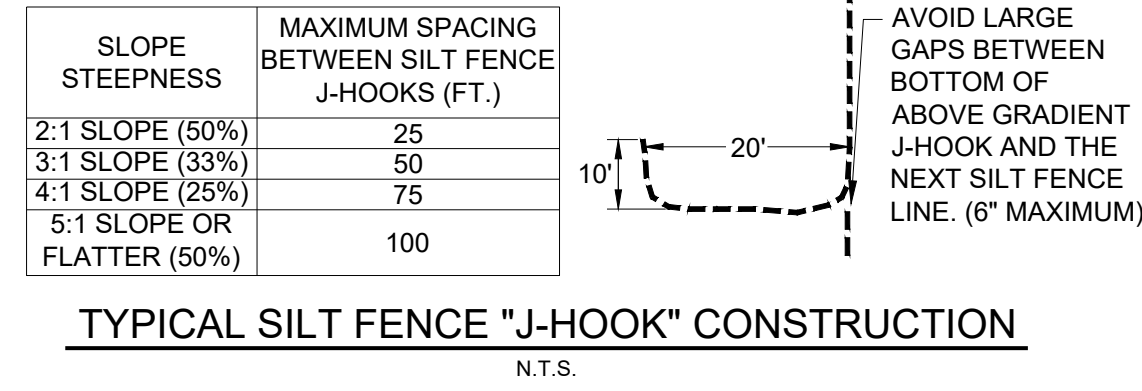
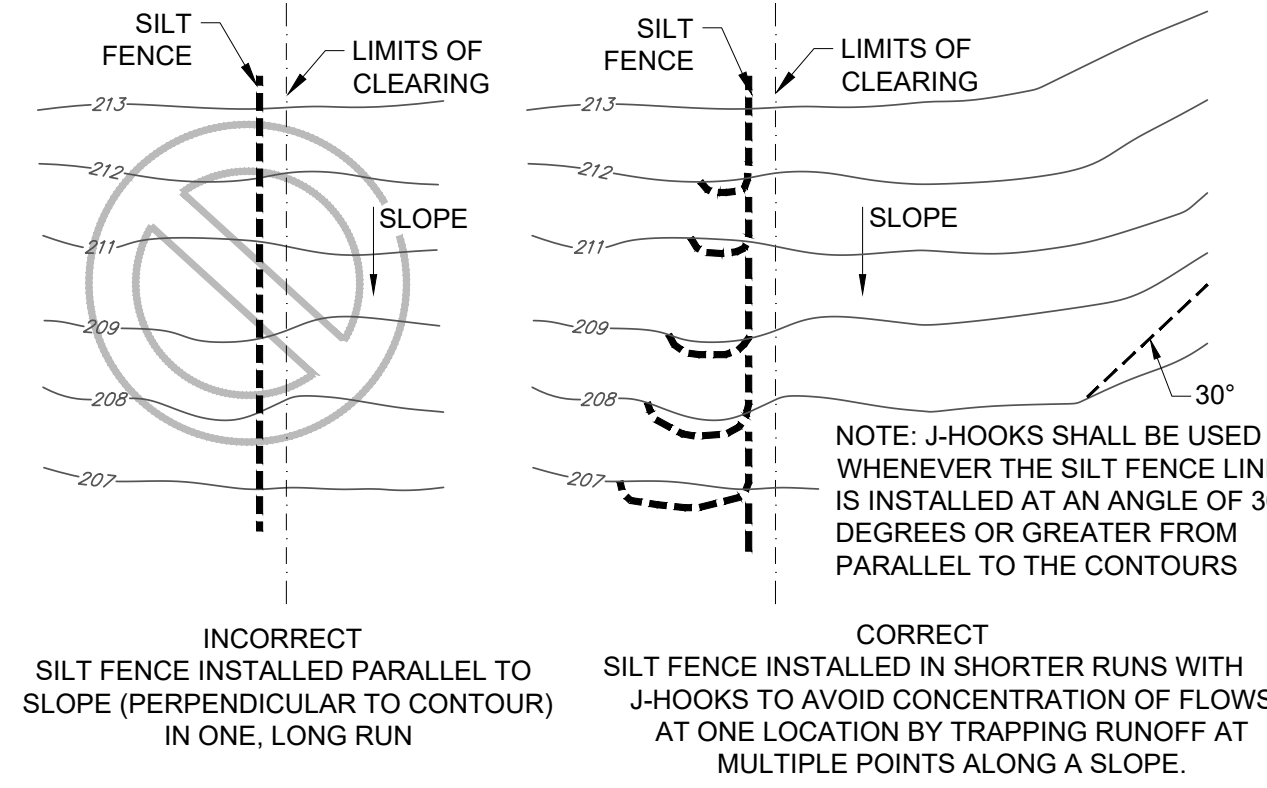
## NOTES

- AT A MINIMUM, EPSC MEASURES MEET VT DEC STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL OR PREVIOUSLY APPROVED INTERCHANGEABLE PRACTICES.
- PERIMETER CONTROLS SHALL BE UTILIZED IN SMALL AREAS ≤ 1 ACRE. IN AREAS > 1 ACRE, TEMPORARY SEDIMENT TRAPS OR TEMPORARY SEDIMENT BASINS ARE TO BE UTILIZED.
- PERIMETER CONTROLS SHALL BE INSTALLED ON DOWNSLOPE SIDE OF PLANNED EARTH DISTURBANCE.
- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES WITHIN UPSLOPE CONTRIBUTING AREA.
- SILT FENCE SHALL NOT BE USED AS CONSTRUCTION DEMARCATION.
- SILT SOXX CAN BE USED AS A SILT FENCE ALTERNATIVE, WITH PRIOR APPROVAL OF THE ENGINEER. SEE DETAIL.
- IF SILT FENCE IS INSTALLED WHEN GROUND IS FROZEN, A GRAVEL, SHOT ROCK, OR SAND BALLAST MUST BE USED.



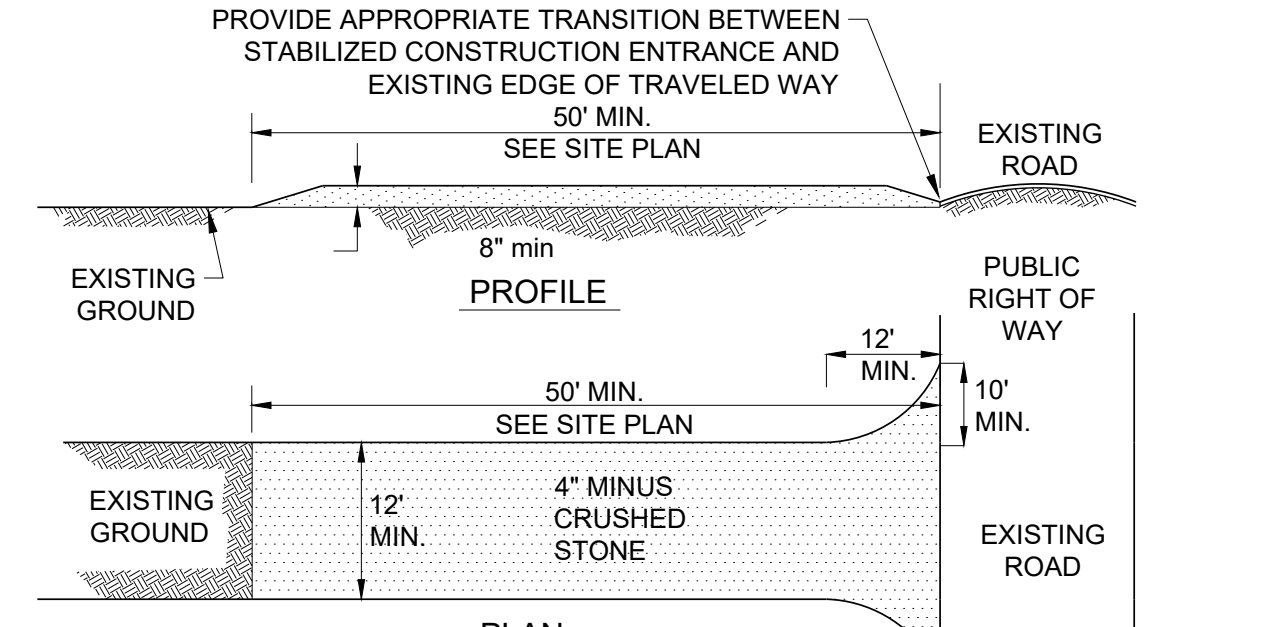
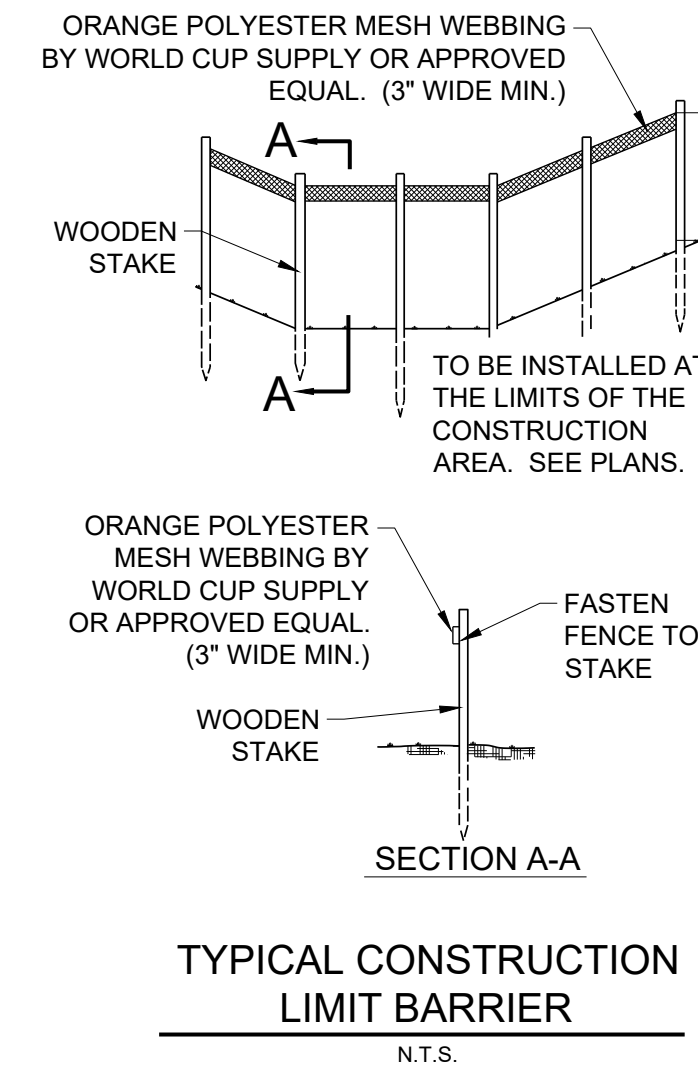
## NOTES

- PROPER INSTALLATION OF J-HOOKS PROVIDES SILT FENCE THE ABILITY TO TEMPORARILY POND RUNOFF, ALLOWING TIME FOR SEDIMENTS TO SETTLE.
- LONG RUNS OF SILT FENCE BETWEEN J-HOOKS SHOULD BE AVOIDED REFER TO ADJACENT TABLE FOR PROPER SPACING OF J-HOOKS.
- J-HOOKS SHOULD BE BUILT ALONG CONTOUR IN A "SMILE" SHAPE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM DEPTH OF 10 FEET.
- ALONG A NARROW RIGHT OF WAY, NARROWER J-HOOKS CAN BE USED WITH A HIGHER SPACING FREQUENCY.



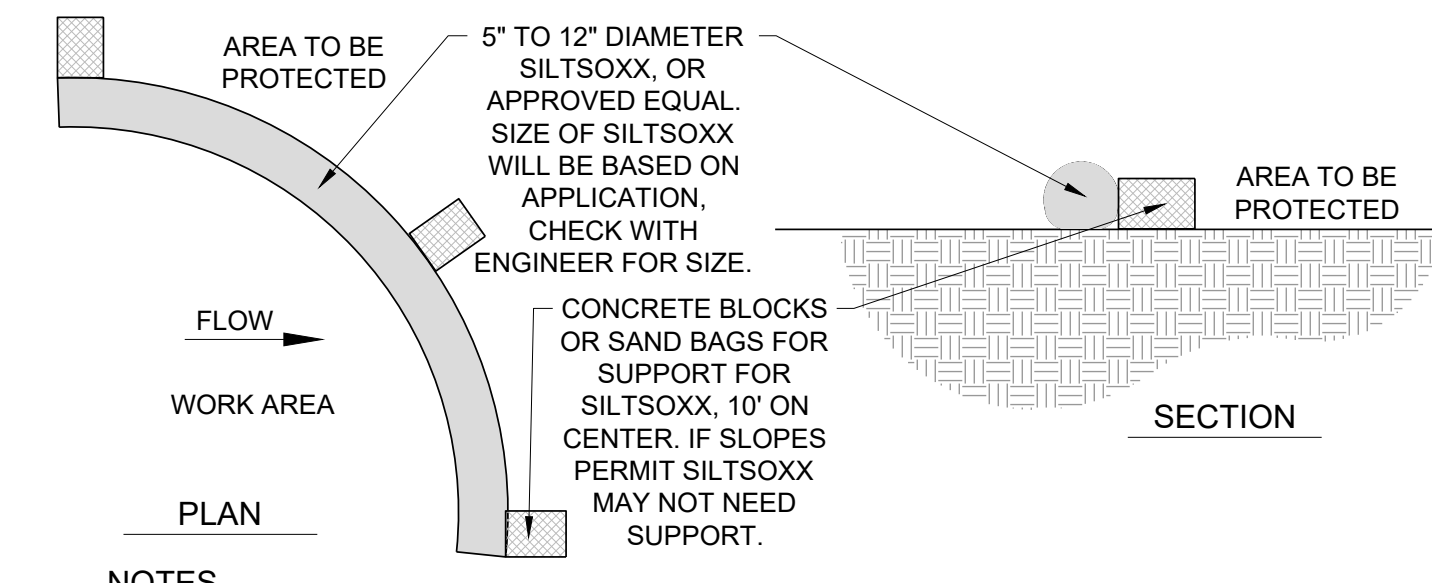
## NOTES

- ACCEPTABLE EPSC MEASURE DETAILS ARE PROVIDED BELOW.
- AT A MINIMUM, EPSC MEASURES MEET VT DEC STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL OR PREVIOUSLY APPROVED INTERCHANGEABLE PRACTICES.
- LIMITS OF DISTURBANCE (OR "CONSTRUCTION DEMARCATION") SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
- BARRIER TAPE/ROPE: FOR USE WHERE PROPOSED DISTURBANCE BORDERS NON-WOODED, VEGETATED AREAS MORE THAN 100 FT FROM THE NEAREST WATER RESOURCE (STREAM, BROOK, LAKE, POND, WETLAND, ETC.). BARRIER TAPE IS HIGH VISIBILITY FIBERGLASS TAPE, MINIMUM 3" IN WIDTH COMMONLY USED IN SKI AREAS FOR DEMARCATING CLOSED AREAS. BARRIER TAPE AND ROPE SHOULD BE ATTACHED TO STAKES, AT A MINIMUM HEIGHT OF 4 FT FROM THE GROUND.
- MINIMUM 1 TO 2 ROWS OF MESH BARRIER TAPE TO BE INSTALLED ALONG CONSTRUCTION PERIMETER.
- EACH ROW OF BARRIER TAPE TO BE 3" WIDE MINIMUM.
- BARRIER TAPE TO BE ORANGE.
- SECURE BARRIER TAPE TO STAKES OR EXISTING TREE TRUNKS WITH BOTTOM ROW AT 4' DISTANCE FROM GROUND SURFACE (MINIMUM).
- MAINTAIN AND REPLACE AS NEEDED. REMOVE AT COMPLETION OF PROJECT PER OSPC.
- IN EVENT THE OSPC DETERMINES BARRIER TAPE IS NOT SUFFICIENT, REPLACE WITH ORANGE CONSTRUCTION FENCE OR SNOW FENCE.



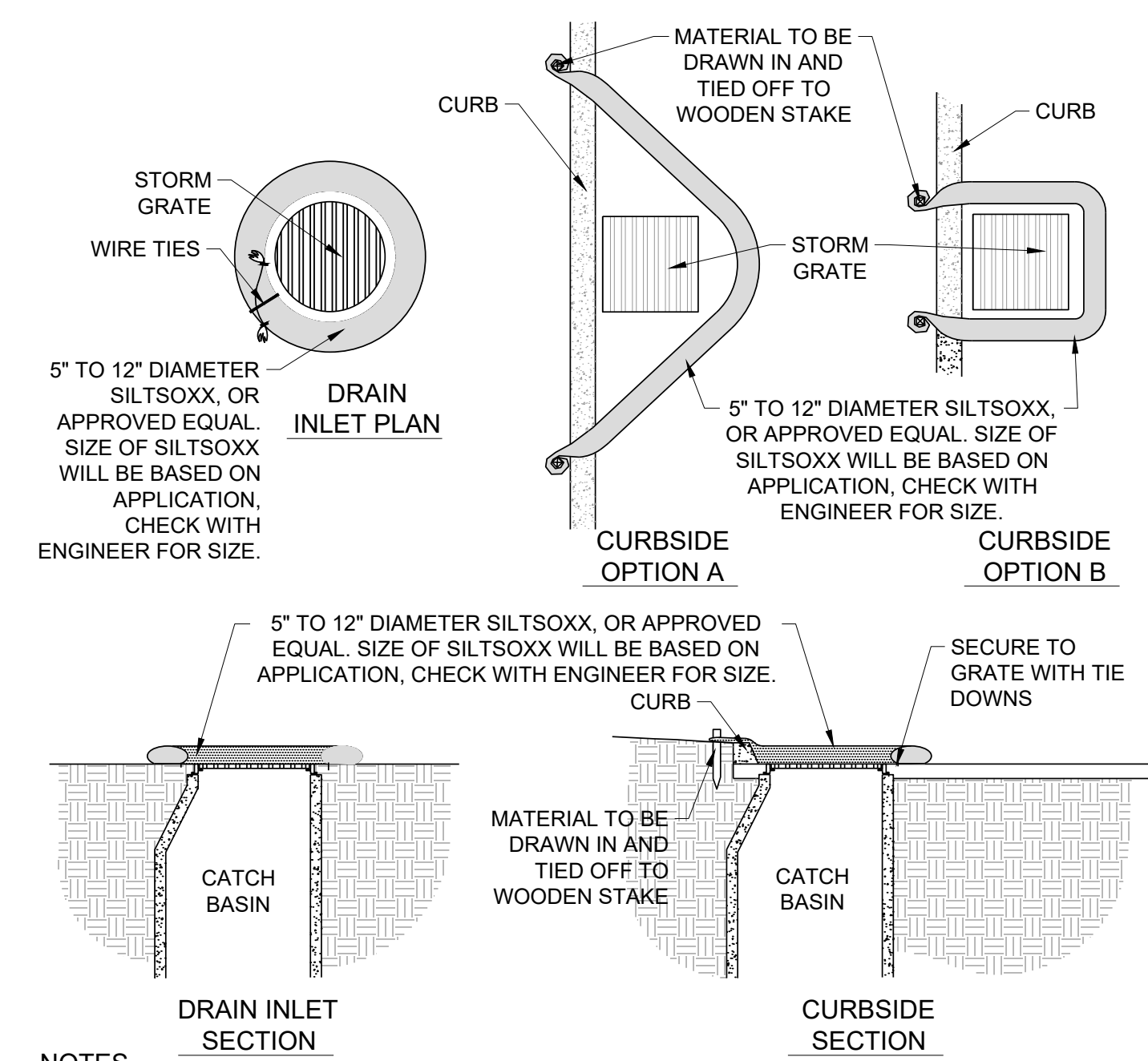
## NOTES

- CONTRACTOR SHALL STABILIZE CONSTRUCTION ENTRANCE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OFF-SITE.
- CONTRACTOR TO USE MIRAFI 500X UNDER STONE FOR TEMPORARY CONSTRUCTION ROADS.
- CRUSHED STONE SHALL BE ADDED OR REPLACED WHEN 80% OF THE VOIDS ARE FILLED WITH SEDIMENT.
- STONE SIZE SHALL BE 1-4".
- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES IS ALLOWED.



## NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF SILT SOXX IN ALL LOCATIONS SHOWN ON THE PLANS.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND ADDITIONAL SILT SOXX WILL BE ADDED WHEN SEDIMENT REACHES HALF OF PRODUCT HEIGHT.
- WHEN INSTALLING LENGTHS OF SILT SOXX, LENGTHS WILL OVERLAP BY MINIMUM 2' WHEN TRANSITIONING TO A NEW LENGTH OF WATTLE.
- CONTRACTOR SHALL REFER TO ALL MANUFACTURES SPECIFICATIONS AND DETAILS.
- SILT SOXX IS A SPECIFIC MANUFACTURER, OTHER MANUFACTURERS WITH EQUAL PRODUCTS MAY BE USED IF APPROVED BY ENGINEER.



## NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF SILT SOXX IN ALL LOCATIONS SHOWN ON THE PLANS.
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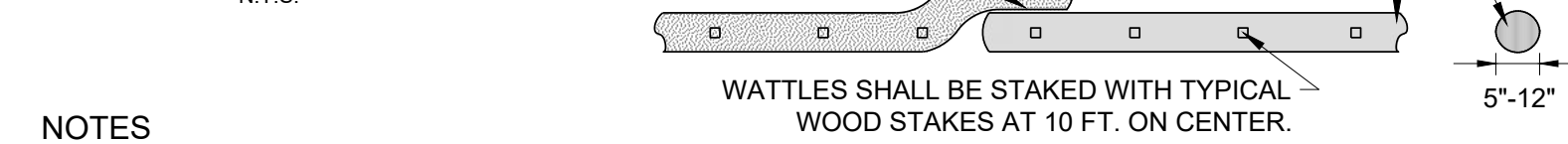


## GUIDE TO MULCH MATERIALS, RATES, AND USES

	QUALITY STANDARDS	PER 1000 SQ. FT.	PER ACRE	DEPTH OF APPLICATION	REMARKS
WOOD CHIPS OR SHAVINGS	AIR-DRIED, FREE OF OBJECTIONABLE COARSE MATERIAL	500-900 LBS	10-20 TONS	2 - 7"	USED PRIMARILY AROUND SHRUB AND TREE PLANTINGS AND RECREATION TRAILS TO INHIBIT WEED COMPETITION. RESISTANT TO WIND BLOWING. DECOMPOSES SLOWLY.
WOOD FIBER CELLULOSE (PARTLY DIGESTED WOOD FIBERS)	MADE FROM NATURAL WOOD USUALLY WITH GREEN DYE AND DISPERSING AGENT	50 LBS	2,000 LBS.	-	APPLY WITH HYDRAMULCHER. NO TIE DOWN REQUIRED. LESS EROSION CONTROL PROVIDED THAN 2 TONS OF HAY OR STRAW.
GRAVEL, CRUSHED STONE OR SLAG	WASHED; SIZE 2B OR 3A - 1/2"	9 CU. YDS.	405 CU. YDS.	3"	EXCELLENT MULCH FOR SHORT SLOPES AND AROUND PLANTS AND ORNAMENTALS. USE 2B WHERE SUBJECT TO TRAFFIC. (APPROXIMATELY 2,000 LBS./CU. YD.). FREQUENTLY USED OVER FILTER FABRIC FOR BETTER WEED CONTROL.
HAY OR STRAW	AIR-DRIED; FREE OF UNDESIRABLE SEEDS & COARSE MATERIALS	90-100 LBS 2-3 BALES	2 TONS (100-120 BALES)	COVER ABOUT 90% SURFACE	USE SMALL GRAIN STRAW WHERE MULCH IS MAINTAINED FOR MORE THAN THREE MONTHS. SUBJECT TO WIND BLOWING UNLESS ANCHORED. MOST COMMONLY USED MULCHING MATERIAL. PROVIDES THE BEST MICRO-ENVIRONMENTAL FOR GERMINATING SEEDS.
COMPOST	UP TO 3" PIECES, MODERATELY TO HIGHLY STABLE	3-9 CU. YDS.	134-402 CU. YDS.	1 - 3"	COARSER TEXTURED MULCHES MAY BE MORE EFFECTIVE IN REDUCING WEED GROWTH AND WIND EROSION.
EROSION CONTROL MIX	WELL-GRADED MIXTURE OF PARTICLE SIZES. ORGANIC CONTENT BETWEEN 80-100% DRY WEIGHT. PARTICLE SIZE SHALL PASS # 6 SCREEN (100%)	* SLOPES 3(HZ):1(VERT) OR FLATTER = 2 INCH DEPTH PLUS ADDITIONAL 1/2 INCH DEPTH PER 20 FT. OF SLOPE UP TO 100 FT. ** SLOPES BETWEEN 3(HZ):1(VERT) AND 2(HZ):1(VERT) = 4 INCH DEPTH PLUS ADDITIONAL 1/2 INCH PER 20 FT. OF SLOPE UP TO 100 FT. *** SLOPES STEEPER THAN 2(HZ):1(VERT) USE OF EROSION CONTROL MIX AND MULCH DEPTH TO BE REVIEWED AND APPROVED PRIOR TO USE BY OSPC OR EPSC SPECIALIST			COMPRISED OF SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. MAY CONTAIN ROCK < 4" IN DIAMETER. ORGANICS SHALL BE FIBROUS AND ELONGATED. NO LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS.

NOTE: THIS MULCHING DETAIL IS FOR EROSION PREVENTION AND SEDIMENT CONTROL ONLY. THIS IS TO BE USED DURING CONSTRUCTION AS A BEST MANAGEMENT PRACTICE. LANDSCAPING MULCH IS DIFFERENT, SEE LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING LANDSCAPE MULCH.

## TYPICAL SILT SOXX SEDIMENT CONTROL



## NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF SILT SOXX IN ALL LOCATIONS SHOWN ON THE PLANS. SILT SOXX MAY BE LEFT IN PLACE IF THE CONTRACTOR SEEDS AND MULCHES OVER SILT SOXX FOR GROWTH POST CONSTRUCTION.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND ADDITIONAL SILT SOXX WILL BE ADDED WHEN SEDIMENT REACHES HALF OF PRODUCT HEIGHT.
- WHEN INSTALLING LENGTHS OF SILT SOXX, LENGTHS WILL OVERLAP BY MINIMUM 18" WHEN TRANSITIONING TO A NEW LENGTH OF SILT SOXX.
- CONTRACTOR SHALL REFER TO ALL MANUFACTURES SPECIFICATIONS AND DETAILS.
- SILT SOXX IS A SPECIFIC MANUFACTURER, OTHER MANUFACTURERS WITH EQUAL PRODUCTS MAY BE USED IF APPROVED BY ENGINEER.
- SILT SOXX CAN BE USED AS A SILT FENCE ALTERNATIVE, WITH PRIOR APPROVAL OF THE ENGINEER.

PERMANENT SEED MIX SHALL BE USED AS EARLY AS PRACTICABLE BETWEEN 5/15 AND 9/15 AND SHALL MEET THE FOLLOWING CRITERIA:  
SEE LANDSCAPE ARCHITECTURAL PLANS AND DETAILS FOR PERMANENT SEEDING MIXTURES.

TEMPORARY SEED MIX SHALL BE USED BETWEEN 9/16 AND 5/14 AND SHALL MEET THE FOLLOWING CRITERIA:

SEED	% WEIGHT	% GERMINATION
WINTER RYE	80% MIN.	85% MIN.
RED FESCUE (CREEPING)	4% MIN.	80% MIN.
PERENNIAL RYE GRASS	3% MIN.	90% MIN.
RED CLOVER	3% MIN.	90% MIN.
OTHER CROP GRASS	0.5% MAX.	
NOXIOUS WEED SEED	0.5% MAX.	
INERT MATTER	1% MAX.	

## SEEDING SPECIFICATIONS

# 51 S. Main Apartments

51 South Main Street  
Waterbury, Vermont



## ISSUED FOR PERMIT REVIEW NOT FOR CONSTRUCTION

APPLICANT:  
Evermorth  
100 Bank Street, Suite 400  
Burlington, Vermont 05401  
Downtown Housing and Community Development  
22 Keith Avenue, Suite 100  
Barre, Vermont 05641

PROPERTY INFORMATION:  
Address: 51 South Main Street  
Parcel ID: 916-0051V  
SPAN: 696-221-11982  
Area: 0.80 Acres  
Zoning: Downtown Commercial  
Setbacks:  
Front: 0'  
Rear: 0'  
Side: 0'  
Max. Building Height: 50'

## STAMP:

REV. NO.	REVISIONS/COMMENTS	DATE

DRAWING TITLE:

## DETAILS

DATE ISSUED: 08/21/23

DRAWN BY: GTD CHECKED BY: GTD

PROJECT NO.: 23177 SCALE: N/A

DRAWING NO.: REV. NO.:

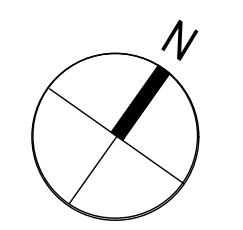
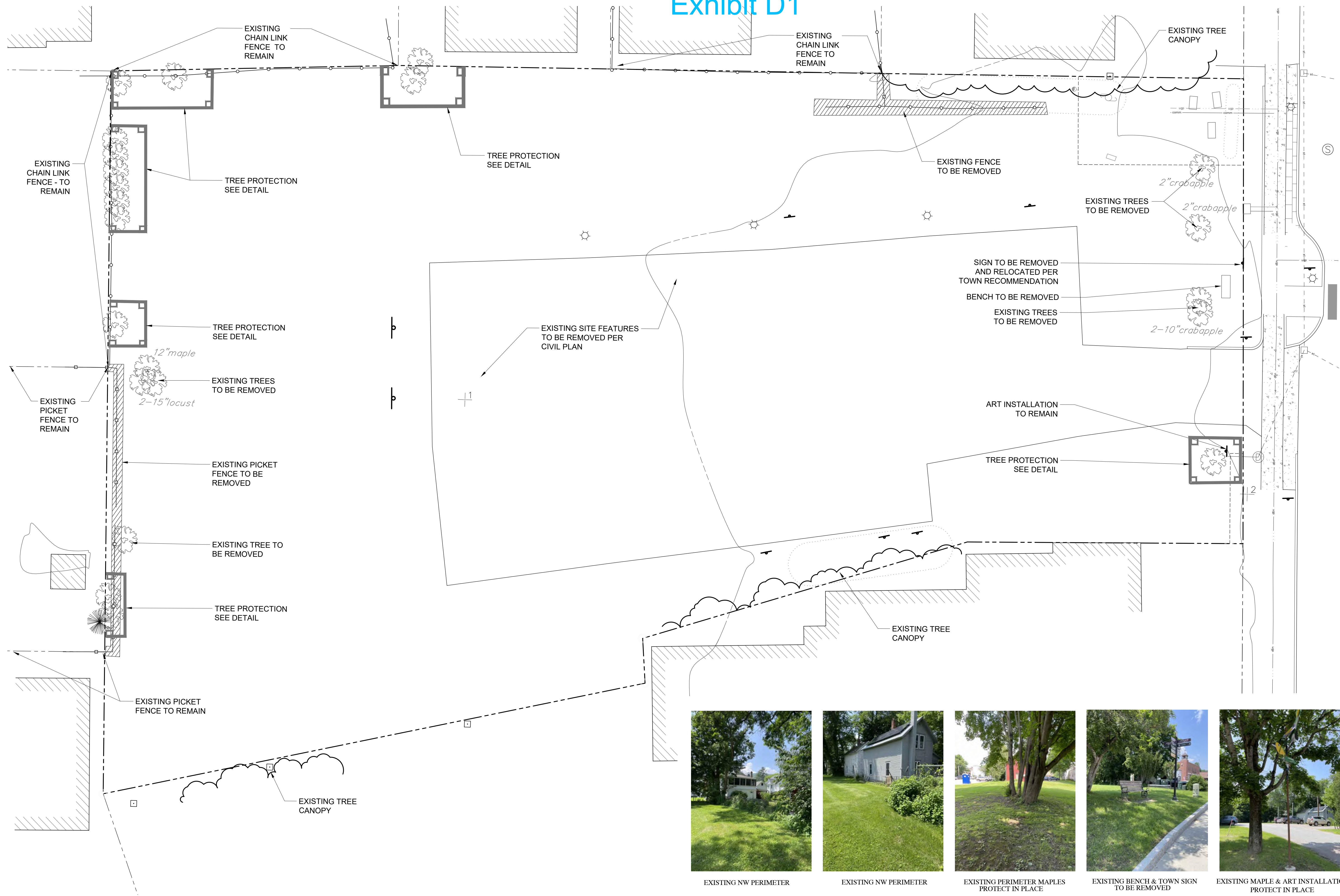
## C-2.04







# Exhibit D1



**gbArchitecture**

85 Granite Shed Lane  
Montpelier VT 05602  
802-229-1664

[www.gbArchitecture.com](http://www.gbArchitecture.com)



**ParkArchitecture.com**

3 School House Lane, Suite #1 Etna NH  
Tel: 603-643-3400 Mobile: 617-905-0467  
Email: parkarchitecture@gmail.com

## 51 S. MAIN

51 S. MAIN ST. WATERBURY, VT

Revisions:  
#

PA Project Number: 2312

Phase: PERMIT REVIEW  
NOT FOR CONSTRUCTION

Scale: 1" = 10'

Date: 08/21/2023

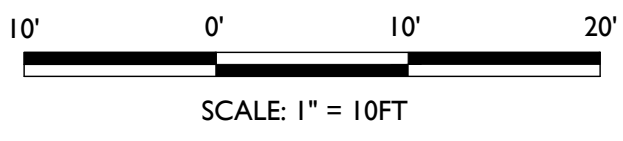
## EXISTING CONDITIONS PLAN

Drawing No.

# L1.0

PERMIT SUBMISSION

# DRAFT



EXISTING NW PERIMETER



EXISTING NW PERIMETER



EXISTING PERIMETER MAPLES PROTECT IN PLACE



EXISTING BENCH & TOWN SIGN TO BE REMOVED



EXISTING MAPLE & ART INSTALLATION PROTECT IN PLACE

### EXISTING CONDITIONS NOTES

1. REFER TO CIVIL AND ARCHITECTURAL PLANS FOR EXTENT OF SITE PREPARATION AND DEMOLITION.
2. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL, TREE PROTECTION AND FENCE REMOVAL ON SITE.

### LEGEND



FENCE SECTION TO BE REMOVED





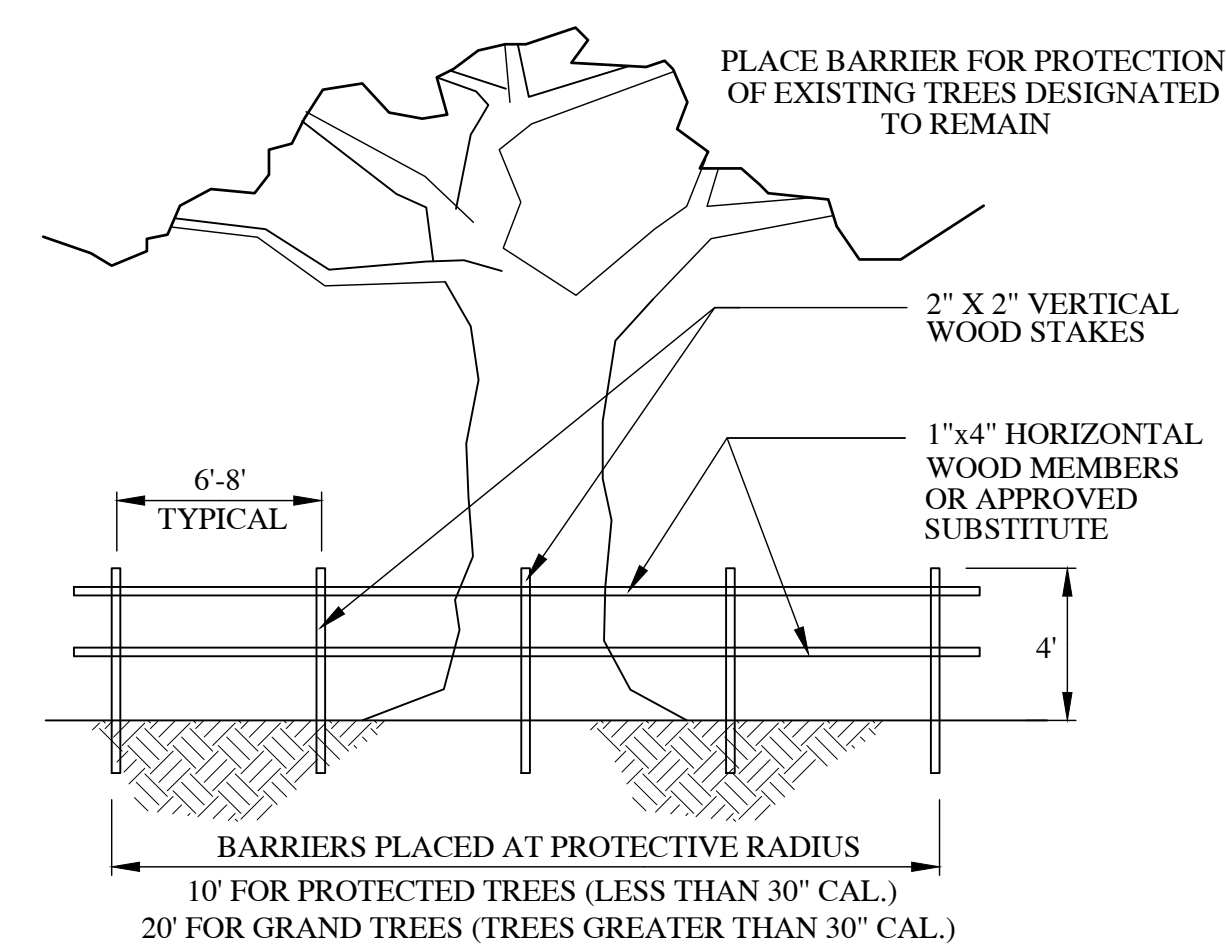






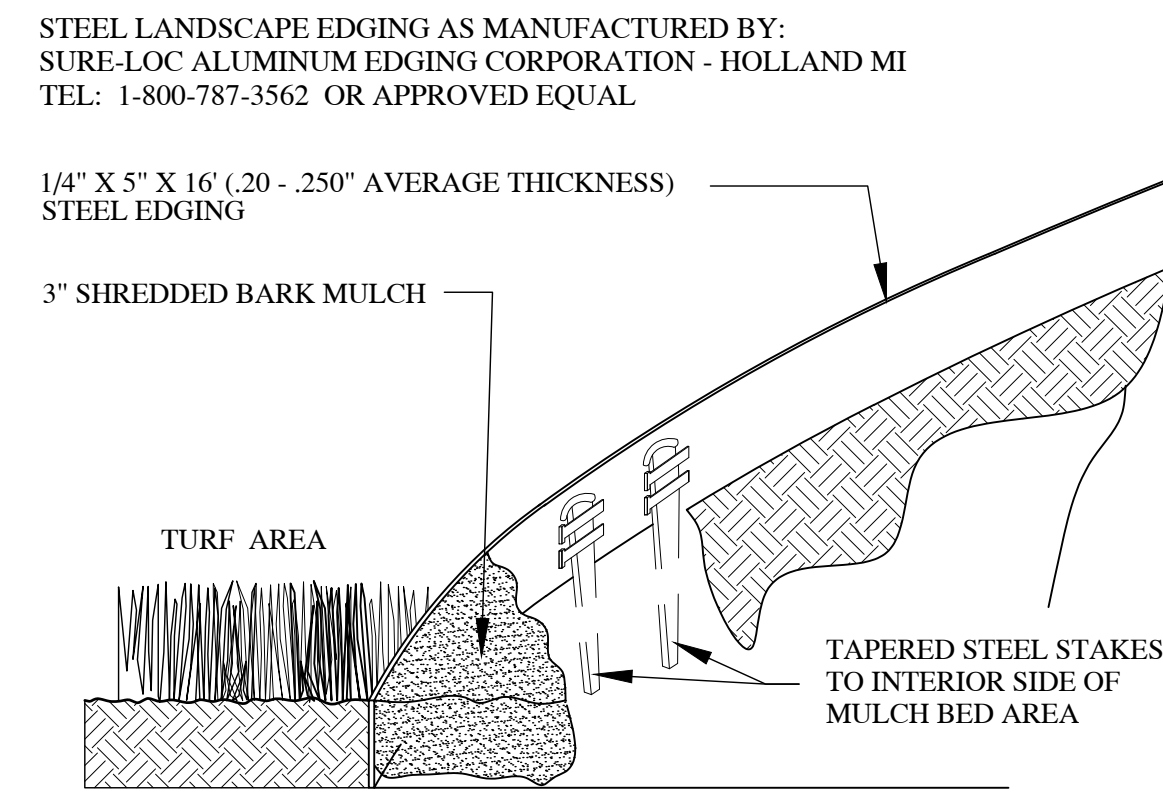
## TREE PROTECTION BARRIER

NOT TO SCALE



## STEEL LANDSCAPE EDGING

NOT TO SCALE



NOTES:

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

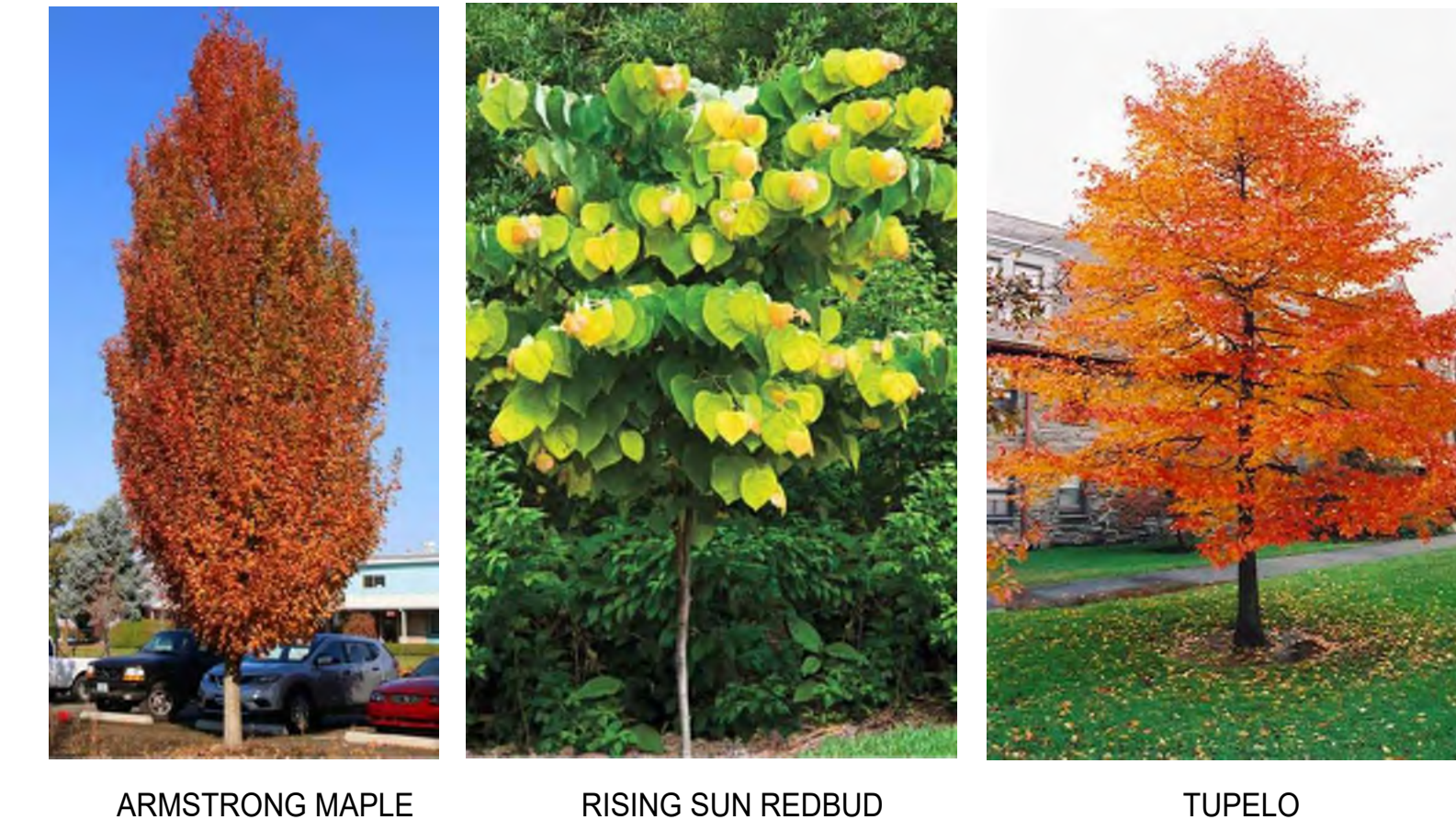
SEE LANDSCAPE PLAN FOR LOCATION OF LAWN VS. MULCHED BED AREAS AND PLACEMENT OF STEEL EDGING.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO MATERIALS ORDERING AND INSTALLATION.

## LANDSCAPE PLANTING SCHEDULE

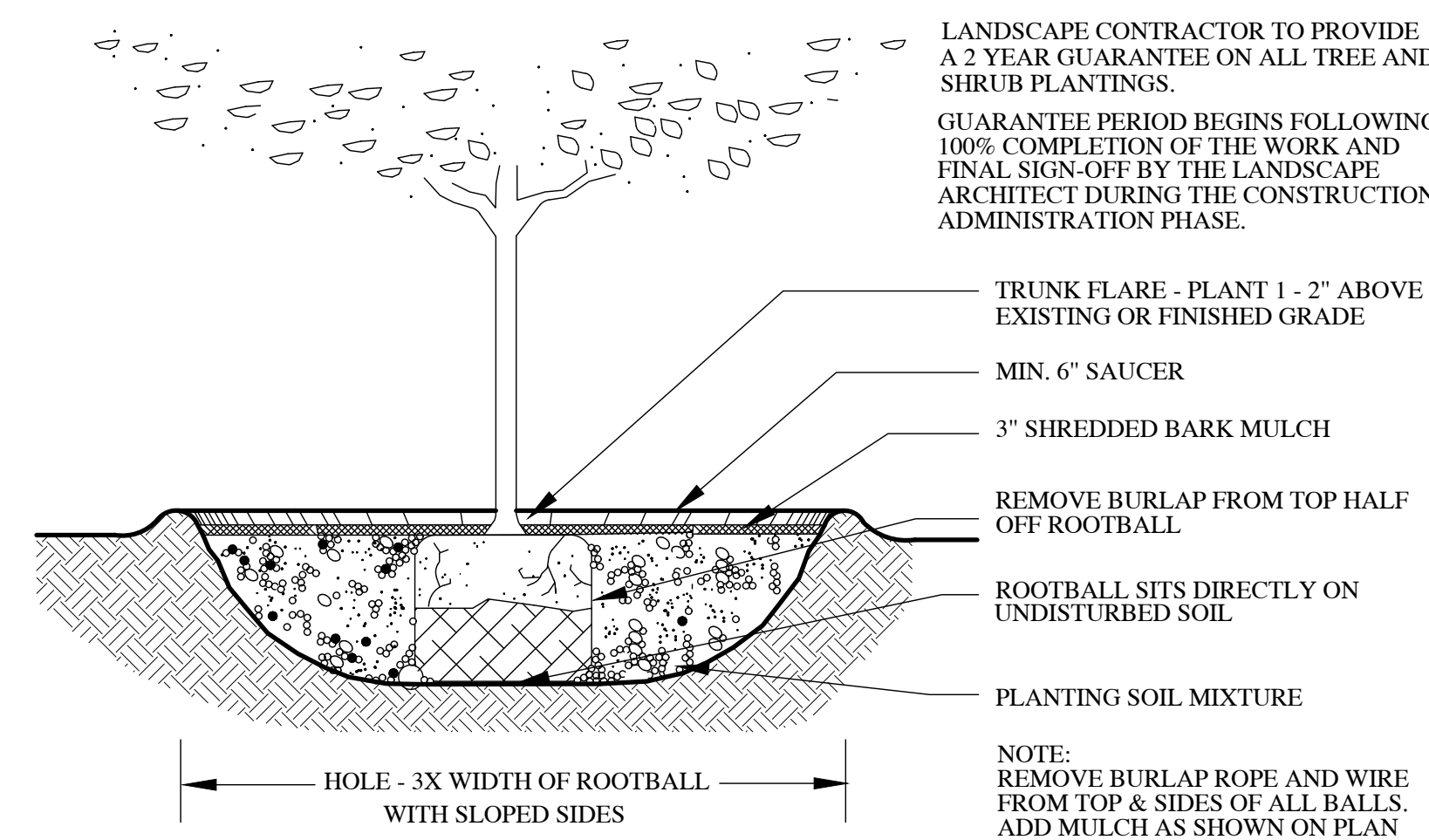
QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>			
2	ACER x FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5" - 3" CAL
3	CERCIS CANADENSIS 'THE RISING SUN'	RISING SUN REDBUD	2.5" - 3" CAL
2	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE TUPELO	2.5" - 3" CAL
<b>EVERGREEN SHRUBS</b>			
10	ILEX GLABRA	INKBERRY	30"-36" HT, #7
7	KALMIA LATIFOLIA	MOUNTAIN LAUREL	30"-36" HT, #7
7	JUNIPERUS VIRGINIANA MANHATTAN BLUE	MANHATTAN BLUE JUNIPER	30"-36" HT, #7
11	RHODODENDRON 'PJM ALBA'	WHITE PJM RHODODENDRON	30"-36" HT, #7
<b>DECIDUOUS SHRUBS</b>			
21	CORNUS SERICERA 'FIREDANCE'	FIREDANCE DOGWOOD	24"-30" HT, #5
4	LINDERA BENZOIN	NORTHERN SPICEBUSH	30"-36" HT, #7
12	POTENTILLA FRUITICOSA 'SUMMER DAWN'	SUMMER DAWN POTENTILLA	24"-30" HT, #5
5	SPIREA 'LATIFOLIA'	COMMON MEADOWSWEET	24"-30" HT, #5
<b>PERENNIALS, VINES &amp; GRASSES</b>			
12	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER GRASS	#5
16	CLEMATIS SP.	CLEMATIS VINE	#2
26	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#5
24	NEPETA 'WALKERS LOW'	WALKERS LOW CATMINT	#2
20	PANICUM VIRGATUM 'SHENANDOAH'	SWITCHGRASS	#5
6	VINCA MINOR	BLUE MYRTLE	FLAT

## PROPOSED TREE IMAGES:

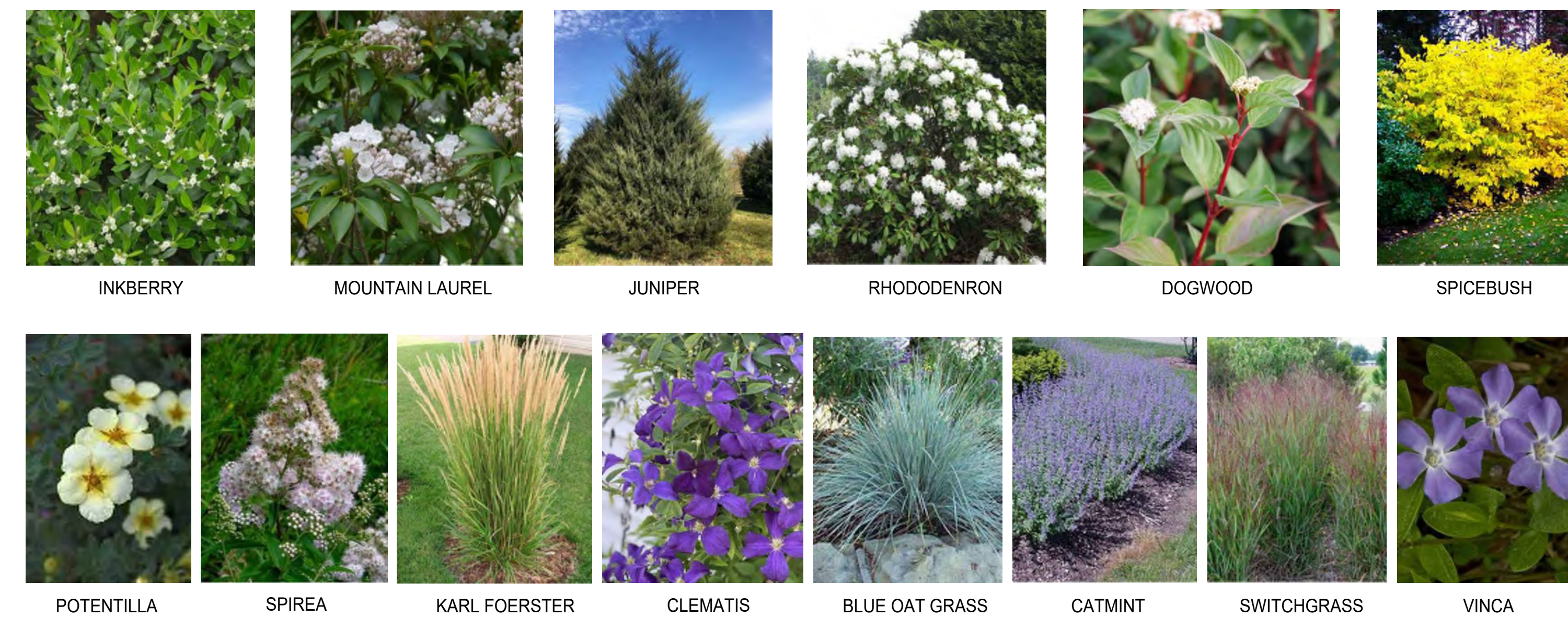


## TREE PLANTING DETAIL

NOT TO SCALE

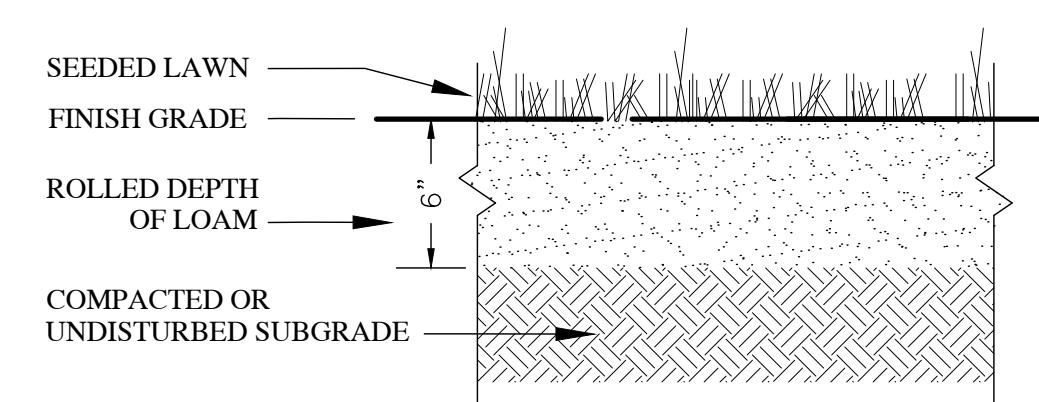


## PROPOSED SHRUBS, GRASSES AND PERENNIAL IMAGES:



## TURF PLANTING DETAIL

NOT TO SCALE



NOTES:

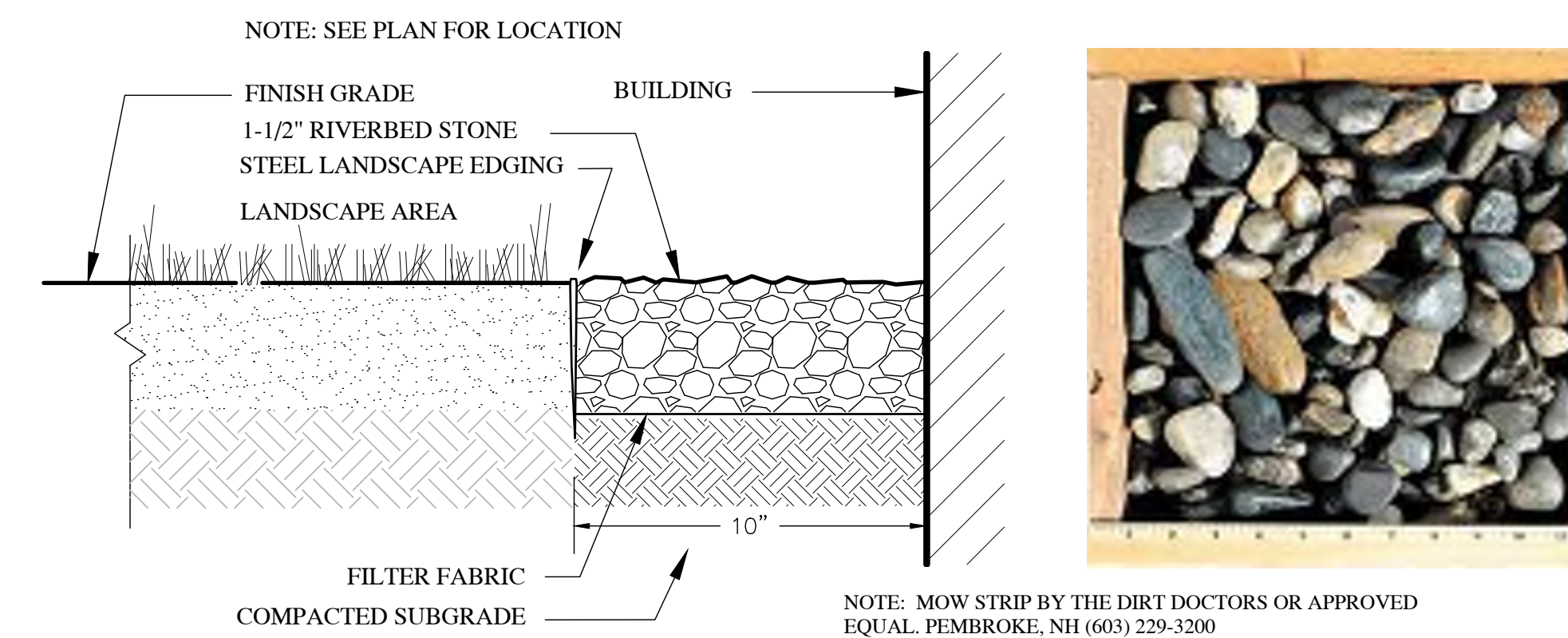
SEED ALL IDENTIFIED AREAS FOR LAWN AND ALL DISTURBED AREAS WITHIN 48 HOURS OF FINAL GRADING.  
SEED AFTER APRIL 15TH AND BEFORE SEPTEMBER 15TH IN ORDER TO ESTABLISH BEFORE FREEZING TEMPERATURES.

CONTRACTOR IS RESPONSIBLE TO WATER AND ESTABLISH SEEDED LAWN AREAS. WARRANTY SHALL BE 9 WEEKS FOLLOWING INSTALLATION PERIOD.

CONTRACTOR TO INCLUDE NECESSARY TOUCH-UP / RESEEDING FOR ANY AREAS WHERE GRASS SEED DOES NOT GERMINATE DURING THE WARRANTY PERIOD.

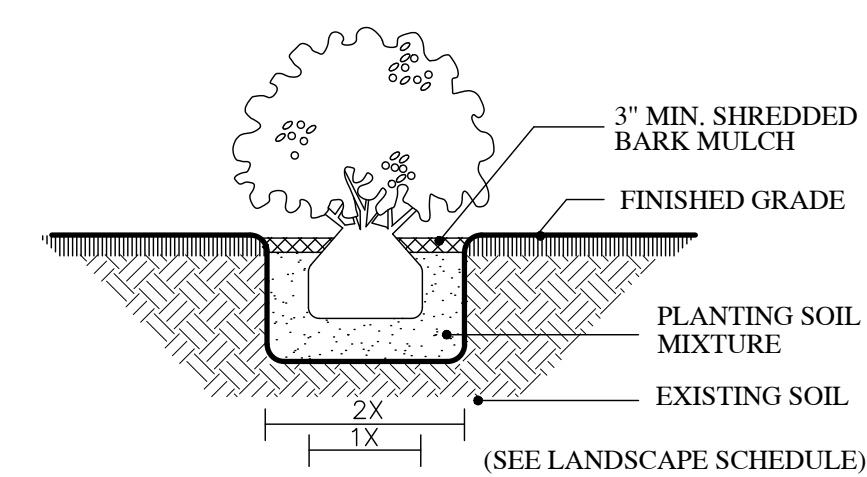
## MOW STRIP

SCALE: NTS



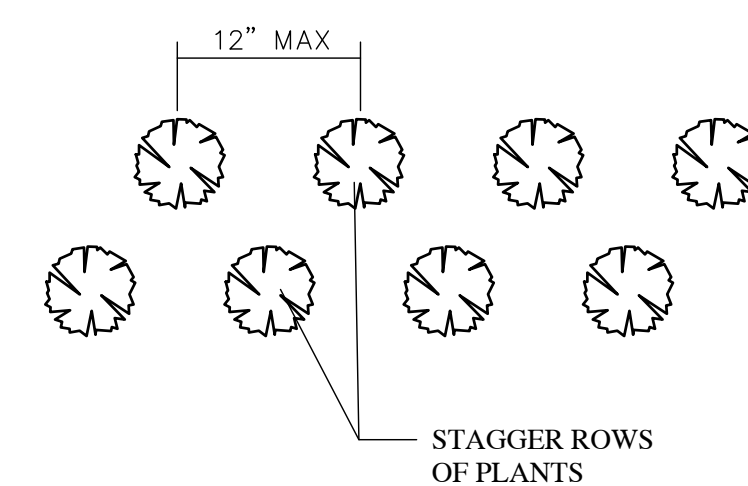
## SHRUB PLANTING DETAIL

NOT TO SCALE



## GROUNDCOVER SPACING

NOT TO SCALE



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Tel: 603-643-3400 Mobile: 617-905-0467  
Email: parkarchitecture@gmail.com

51 S. MAIN

51 S. MAIN ST. WATERBURY, VT

Revisions:  
#

PA Project Number: 2312

Phase: PERMIT REVIEW  
NOT FOR CONSTRUCTION

Scale: AS NOTED

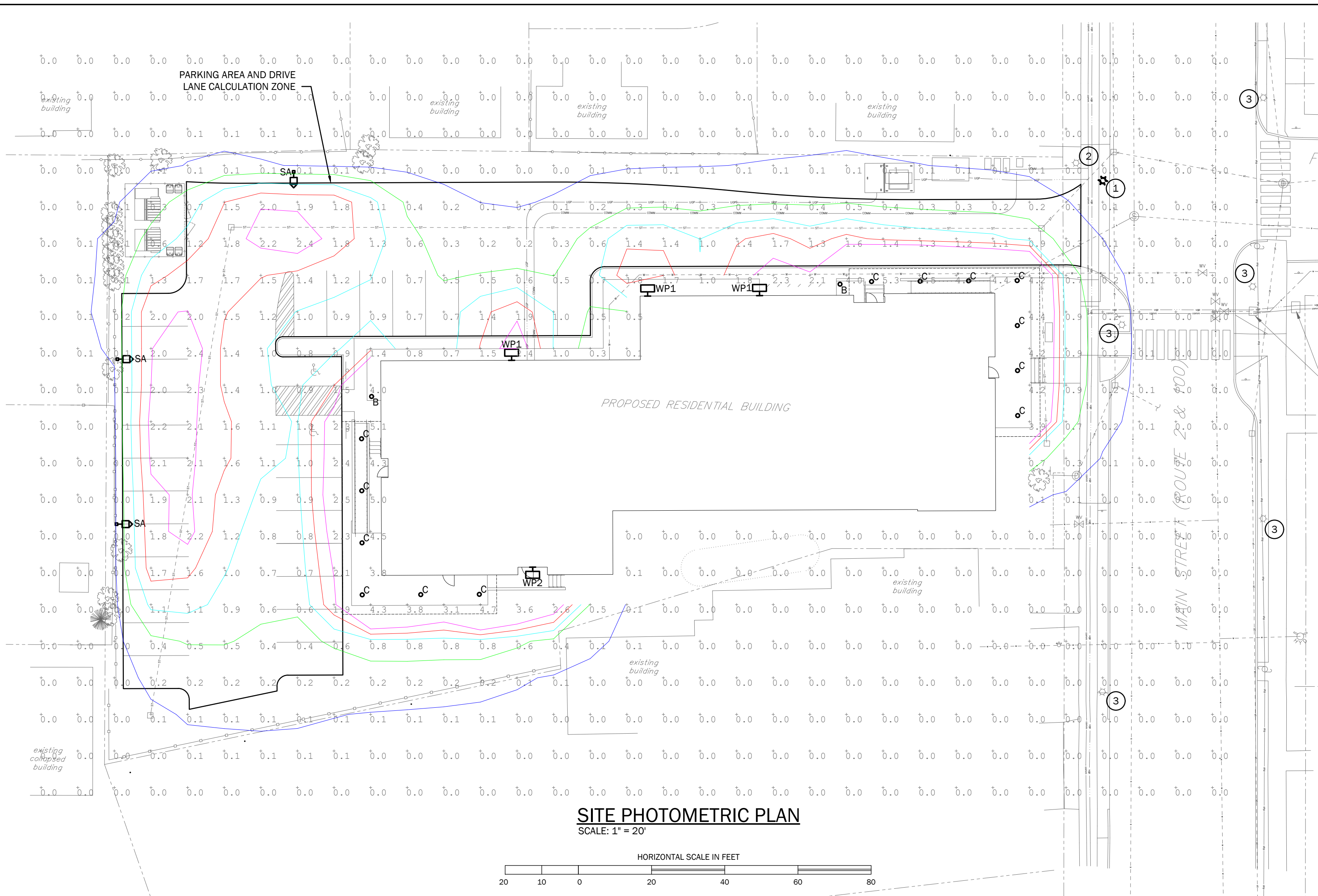
Date: 08/21/2023

LANDSCAPE  
DETAILS

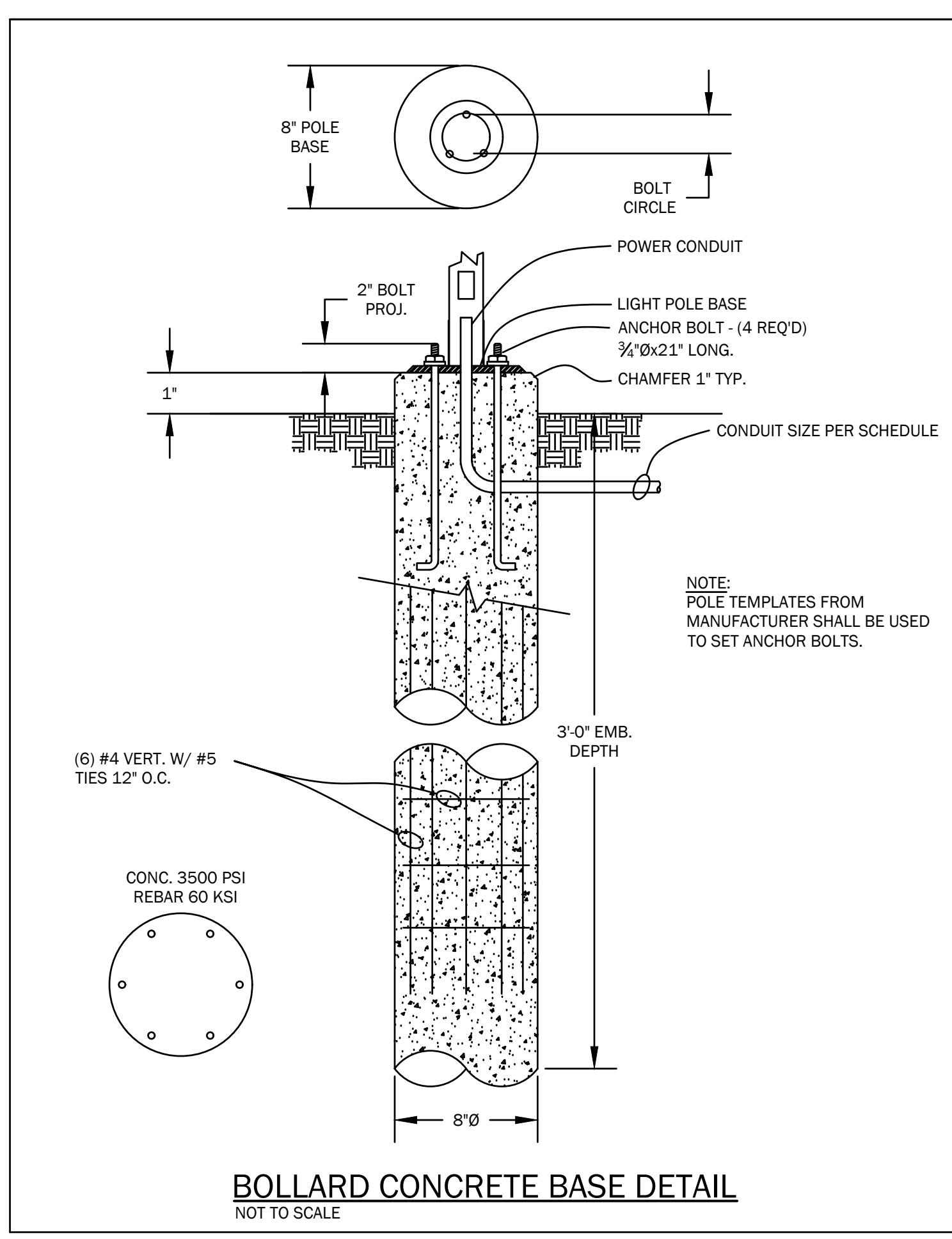
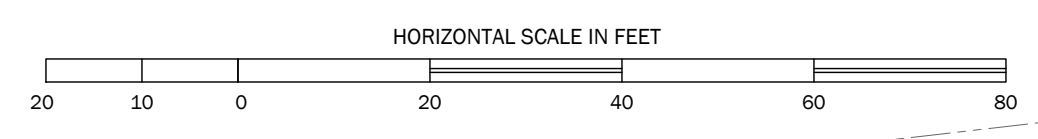
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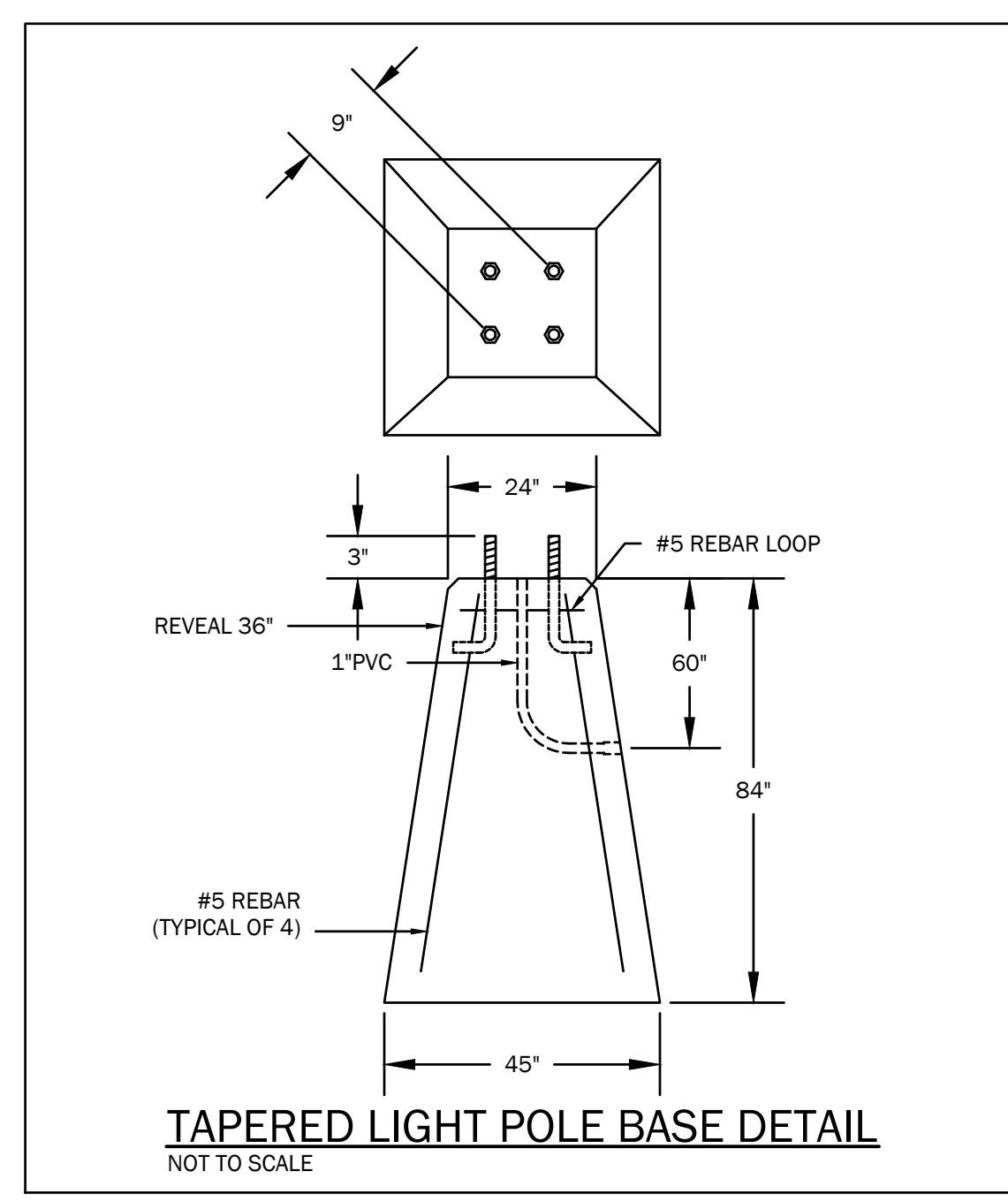


**SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 20'



**BOLLARD CONCRETE BASE DETAIL**  
NOT TO SCALE

STATISTICS					
Description	Symbol	Avg	Max	Min	Avg/Min Ratio
PARKING AREA AND DRIVE LANE	+	1.19 Fc	2.5 Fc	0.1 Fc	10.90



**TAPERED LIGHT POLE BASE DETAIL**  
NOT TO SCALE

- KEYED NOTES:**
- EXISTING STREET LIGHT IN THIS LOCATION TO BE RELOCATED.
  - PROPOSED NEW LOCATION FOR EXISTING STREET LIGHT TO BE RELOCATED.
  - EXISTING POLE LIGHT TO REMAIN.

- ISOLINE LEGEND**
- 2 FOOTCANDELS
  - 1.5 FOOTCANDELS
  - 1 FOOTCANDELS
  - .5 FOOTCANDELS
  - .1 FOOTCANDELS

- GENERAL NOTES:**
- +0.3 DENOTES FOOTCANDLE LEVEL AT EACH POINT.
  - STREET LIGHTING FIXTURES NOT PROVIDED BY THIS PROJECT. LIGHTING CONTRIBUTION BY THESE FIXTURES IS NOT SHOW.

**WEDGE LED**  
Architectural Wall Sconce  
Visual Comfort Optic

**Specifications**  
Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight (without options): 13.5 lbs

**WEDGE LED Family Overview**

Model	Beam Spread	Power	Mounting	Height	Width	Weight	Approximate Lumens (2000K)	Approximate Lumens (3000K)
WEDGE2 LED Visual Comfort	40°	15W	Standard	11.5"	7.0"	1.5"	1,200	1,800
WEDGE2 LED Precision Reflector	15°	15W	Standard	11.5"	7.0"	1.5"	1,200	1,800
WEDGE2 LED Precision Reflector	15°	15W	Standard	11.5"	7.0"	1.5"	1,200	1,800
WEDGE2 LED Precision Reflector	15°	15W	Standard	11.5"	7.0"	1.5"	1,200	1,800

**Ordering Information** EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DBDXX

Series	Finish	Color Temperature	Beam Spread	Mounting	Height	Weight	Shipping Included	Shipping Weight
WEDGE2 LED	P1	40K	40°	VF	11.5"	1.5"	SRM	1.5 lbs
WEDGE2 LED	P2	3000K	40°	VF	11.5"	1.5"	SRM	1.5 lbs
WEDGE2 LED	P3	40K	40°	VF	11.5"	1.5"	SRM	1.5 lbs
WEDGE2 LED	P4	3000K	40°	VF	11.5"	1.5"	SRM	1.5 lbs

**LITHONIA LIGHTING** COMMERCIAL OUTDOOR  
One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-765-SERV (7378) • www.lithonia.com

**D-Series Size 0 LED Area Luminaire**

**Specifications**  
EPAC: 0.46 ft  
Length: 26.18"  
Width: 14.06"  
Height H1: 2.26"  
Height H2: 7.46"  
Weight: 23 lbs

**Ordering Information** EXAMPLE: DSX0 LED P4 40K 70CRI T3M MVOLT SPA NLAIR2 PIRHN DBDXX

Series	Finish	Color Temperature	Beam Spread	Mounting	Height	Weight	Shipping Included	Shipping Weight
DSX0 LED	P1	40K	70°	T3M	11.5"	1.5"	SPR	1.5 lbs
DSX0 LED	P2	3000K	70°	T3M	11.5"	1.5"	SPR	1.5 lbs
DSX0 LED	P3	40K	70°	T3M	11.5"	1.5"	SPR	1.5 lbs
DSX0 LED	P4	3000K	70°	T3M	11.5"	1.5"	SPR	1.5 lbs

**LITHONIA LIGHTING** COMMERCIAL OUTDOOR  
One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-765-SERV (7378) • www.lithonia.com

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**  
INTRODUCTION - The 4", 6" and 8" W4/WF/W8 MVOLT LED Switchable White Color Temperature...  
INSTALLATION - Use for shallow ceiling applications...  
SPECIFICATIONS - Mounting: 1/2" x 1/2" x 1/2" (3/16" x 3/16" x 3/16")

**Ordering Information** EXAMPLE: W4/WF/W8 MVOLT LED Switchable White

Series	Finish	Color Temperature	Mounting	Height	Weight	Shipping Included	Shipping Weight
W4	P1	40K	VF	4"	1.5"	SRM	1.5 lbs
W4	P2	3000K	VF	4"	1.5"	SRM	1.5 lbs
W4	P3	40K	VF	4"	1.5"	SRM	1.5 lbs
W4	P4	3000K	VF	4"	1.5"	SRM	1.5 lbs

**RADEAN Bollard LED Site Luminaire**

**Specifications**  
Diameter: 8.25"  
Height: 25.5"  
Weight: 6.07 kg

**Ordering Information** EXAMPLE: RADB LED P4 30K SYM MVOLT BTS BCCDNTXD DBLXD

Series	Finish	Color Temperature	Beam Spread	Mounting	Height	Weight	Shipping Included	Shipping Weight
RADB LED	P1	30K	30°	BTS	25.5"	6.07 kg	SRM	6.07 kg
RADB LED	P2	40K	30°	BTS	25.5"	6.07 kg	SRM	6.07 kg
RADB LED	P3	30K	30°	BTS	25.5"	6.07 kg	SRM	6.07 kg
RADB LED	P4	40K	30°	BTS	25.5"	6.07 kg	SRM	6.07 kg

**LITHONIA LIGHTING** COMMERCIAL OUTDOOR  
One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-765-SERV (7378) • www.lithonia.com

**LIGHTING FIXTURE SCHEDULE**

TYPE	MANUFACTURER & MODEL NO.	DESCRIPTION	COUNT	LAMPS	WATTS	LUMENS	VOLTS	MOUNTING	REMARKS
B	LITHONIA LIGHTING RADBLE-P4-40K-SYM-MVOLT-PIR- BTS-BCC-H36-XXXXXX	42" BOLLARD	2	LED	17	2081	120/ 277	MOUNTED ON CONCRETE BOLLARD BASE	XXXXX - ARCHITECT TO SELECT FINISH, CONTROLLED BY SITE LIGHTING TIME CLOCK AND INTEGRAL HIGH/LOW OCCUPANCY SENSING
C	LITHONIA LIGHTING WF6-LED-30K-40K-50K-MVOLT-90CRI-xx	RECESSED	13	LED	14	1190	120/ 277	MOUNTED UNDERNEATH CANOPY	xx-ARCHITECT TO SELECT FINISH, EC TO SET COLOR TEMP TO 40K IN FIELD, CONTROLLED BY SITE LIGHTING TIME CLOCK
WP1	LITHONIA LIGHTING WDGE2-LED-P15W-40K-80CRI- VW-MVOLT-SRM-PIR1FC3V-XXXXXX	WALL PACK	3	LED	10	1200	120/ 277	WALL MOUNTED AT 15'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR
WP2	LITHONIA LIGHTING WDGE2-LED-P15W-40K-80CRI- VW-MVOLT-SRM-E20WC-PIR1FC3V-XXXXXX	WALL PACK	1	LED	10	1200	120/ 277	WALL MOUNTED AT 10'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR, COLD WEATHER BATTERY BACKUP
SA	LITHONIA LIGHTING DSX0LED-P1-40K-70CRI-BLC4-MVOLT-SP- A-NLAIR2PIRHN-XXXXXX	POLE LIGHT	3	LED	33	3599	120/ 277	POLE MOUNTED AT 15'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR

SITE POLE LIGHTING TO BE MOUNTED ON LITHONIA LIGHTING #SSA-12G-DM19AS-UL-XXXXXX POLE (ARCHITECT TO SELECT POLE AND FIXTURE FINISH).

ISSUED FOR PERMIT 8/21/23  
NOT FOR CONSTRUCTION

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PROFESSIONAL SEAL

STATE OF VERMONT  
JAMES S. GOLD  
No. 100299  
Professional Engineer

NO.	DATE	DESCRIPTION	BY
			CK/D

PROJECT NAME:  
**51 SOUTH MAIN STREET APARTMENTS**  
51 S MAIN ST WATERBURY, VT, 05676

DRAWN BY: BDF  
DATE: 08/21/23

CHECKED BY: ASG  
DATE: 08/21/23

PROJ. ENG.: BDF  
SCALE: AS NOTED

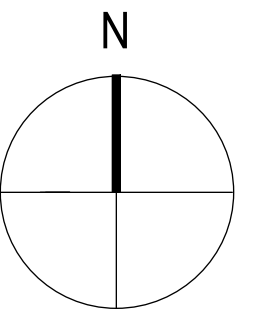
SHEET NUMBER: SP1.0

SHEET TITLE: SITE PHOTOMETRIC PLAN

SHEET 1 OF 1



# Exhibit F1



## 51 S. MAIN - BUILDING AREA

LEVEL 1	
1 BEDROOM	730 SF
1 BEDROOM	730 SF
1 BEDROOM	733 SF
1 BEDROOM - ADA	732 SF
1 BEDROOM - AV	730 SF
2 BEDROOM - ADA	923 SF
STUDIO	431 SF

COMMON ROOM	455 SF
CORRIDOR	1359 SF
EL. EQ.	56 SF
ELEC.	177 SF
ELEV.	115 SF
FLEX / MEETING	149 SF
JAN.	53 SF
LAUNDRY	307 SF
LOBBY	241 SF
MAIL	93 SF
MECH. / F.R.	176 SF
OFFICE / TRAINING	428 SF
RR	60 SF
STAIR A	216 SF
STAIR B	213 SF
STOR.	44 SF
STOR.	63 SF
STOR.	45 SF
STOR.	43 SF
STOR.	43 SF
STOR.	45 SF
VEST.	54 SF
LEVEL 1	9445 SF

LEVEL 2	
1 BEDROOM	734 SF
1 BEDROOM	730 SF
1 BEDROOM	732 SF
1 BEDROOM	728 SF
1 BEDROOM	730 SF
1 BEDROOM	730 SF
1 BEDROOM	733 SF
2 BEDROOM	923 SF
2 BEDROOM	923 SF
STUDIO	431 SF

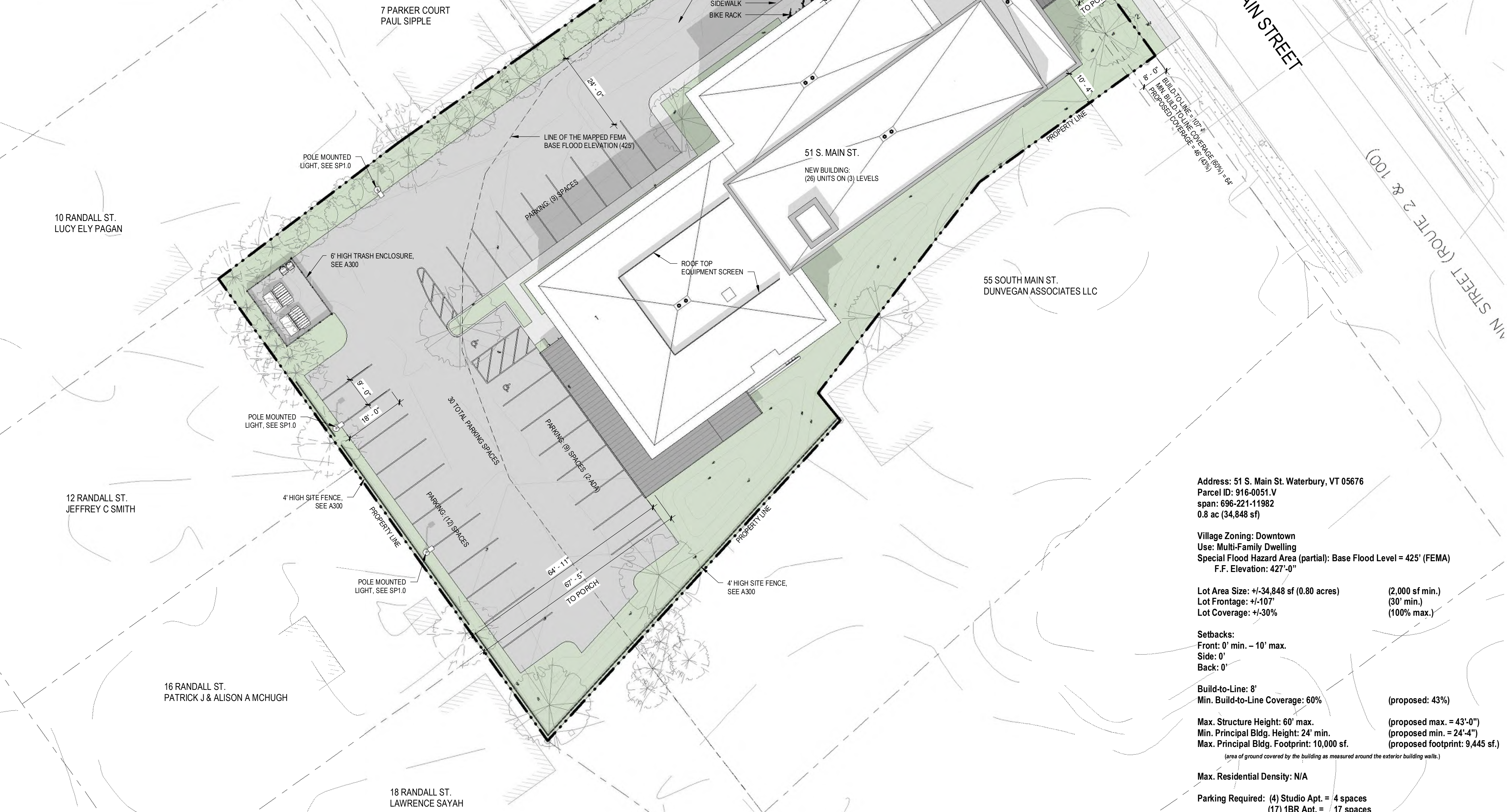
CORRIDOR	1340 SF
ELEV.	115 SF
STAIR A	216 SF
STAIR B	216 SF
STOR.	119 SF
T/D	53 SF
LEVEL 2	9451 SF

LEVEL 3	
1 BEDROOM	730 SF
1 BEDROOM	732 SF
1 BEDROOM	734 SF
1 BEDROOM	730 SF
1 BEDROOM	730 SF
2 BEDROOM	921 SF
2 BEDROOM	923 SF
STUDIO	431 SF
STUDIO	431 SF

CORRIDOR	1249 SF
ELEV.	115 SF
FLEX	119 SF
STAIR A	218 SF
STAIR B	216 SF
T/D	54 SF
LEVEL 3	8332 SF
TOTAL BUILDING AREA	27228 SF

## 51 S. MAIN - EXTERIOR AREA

LEVEL 1	
COMMON PORCH	438 SF
FRONT PORCH	437 SF
LEVEL 1	874 SF



Address: 51 S. Main St. Waterbury, VT 05676  
 Parcel ID: 916-0051.V  
 span: 696-221-11982  
 0.8 ac (34,848 sf)

Village Zoning: Downtown  
 Use: Multi-Family Dwelling  
 Special Flood Hazard Area (partial): Base Flood Level = 425' (FEMA)  
 F.F. Elevation: 427'-0"

Lot Area Size: +/-34,848 sf (0.80 acres) (2,000 sf min.)  
 Lot Frontage: +/-107' (30' min.)  
 Lot Coverage: +/-30% (100% max.)

Setbacks:  
 Front: 0' min. - 10' max.  
 Side: 0'  
 Back: 0'

Build-to-Line: 8'  
 Min. Build-to-Line Coverage: 60% (proposed: 43%)

Max. Structure Height: 60' max. (proposed max. = 43'-0")  
 Min. Principal Bldg. Height: 24' min. (proposed min. = 24'-4")  
 Max. Principal Bldg. Footprint: 10,000 sf. (proposed footprint: 9,445 sf.)

(area of ground covered by the building as measured around the exterior building walls.)

Max. Residential Density: N/A

Parking Required: (4) Studio Apt. = 4 spaces  
 (17) 1BR Apt. = 17 spaces  
 (5) 2BR Apt. = 7.5 spaces  
 Office: 428sf = 1.43 spaces  
 Total Parking Required = 29.93 spaces (proposed parking: 30 spaces)

# 1 SITE PLAN

SCALE: 1/16" = 1'-0"

**gbArchitecture**  
 85 Granite Shed Lane  
 Montpelier VT 05602  
 802-229-1664  
[www.gbArchitecture.com](http://www.gbArchitecture.com)

## 51 S. MAIN

51 S. MAIN ST. WATERBURY, VT

Revisions:  
 #

Project Number: 2022-0017

Phase: ZONING / DRB

Scale: 1/16" = 1'-0"

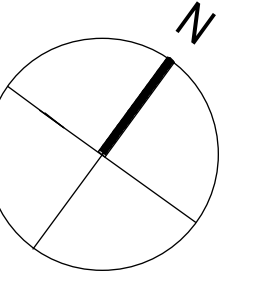
Date: 08/21/2023

## SITE PLAN

# A100



# Exhibit G1



LEVEL 1	
1 BEDROOM	730 SF
1 BEDROOM	730 SF
1 BEDROOM	733 SF
1 BEDROOM - ADA	732 SF
1 BEDROOM - AV	730 SF
2 BEDROOM - ADA	923 SF
STUDIO	431 SF



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51 S. MAIN

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Revisions:  
#

Project Number: 2022-0017

Phase: ZONING / DRB

Scale: 1/8" = 1'-0"

Date: 08/21/2023

### FLOORING

- CARPET TILE
- RESILIENT PLANK
- RESILIENT SHEET
- WALK-OFF MAT
- CONCRETE - SEALED

1 LEVEL 1

SCALE: 1/8" = 1'-0"

FLOOR PLAN  
- LEVEL 1

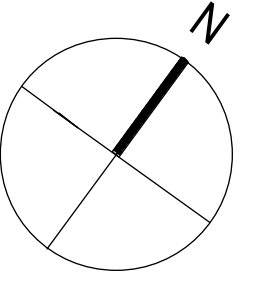
**A101**



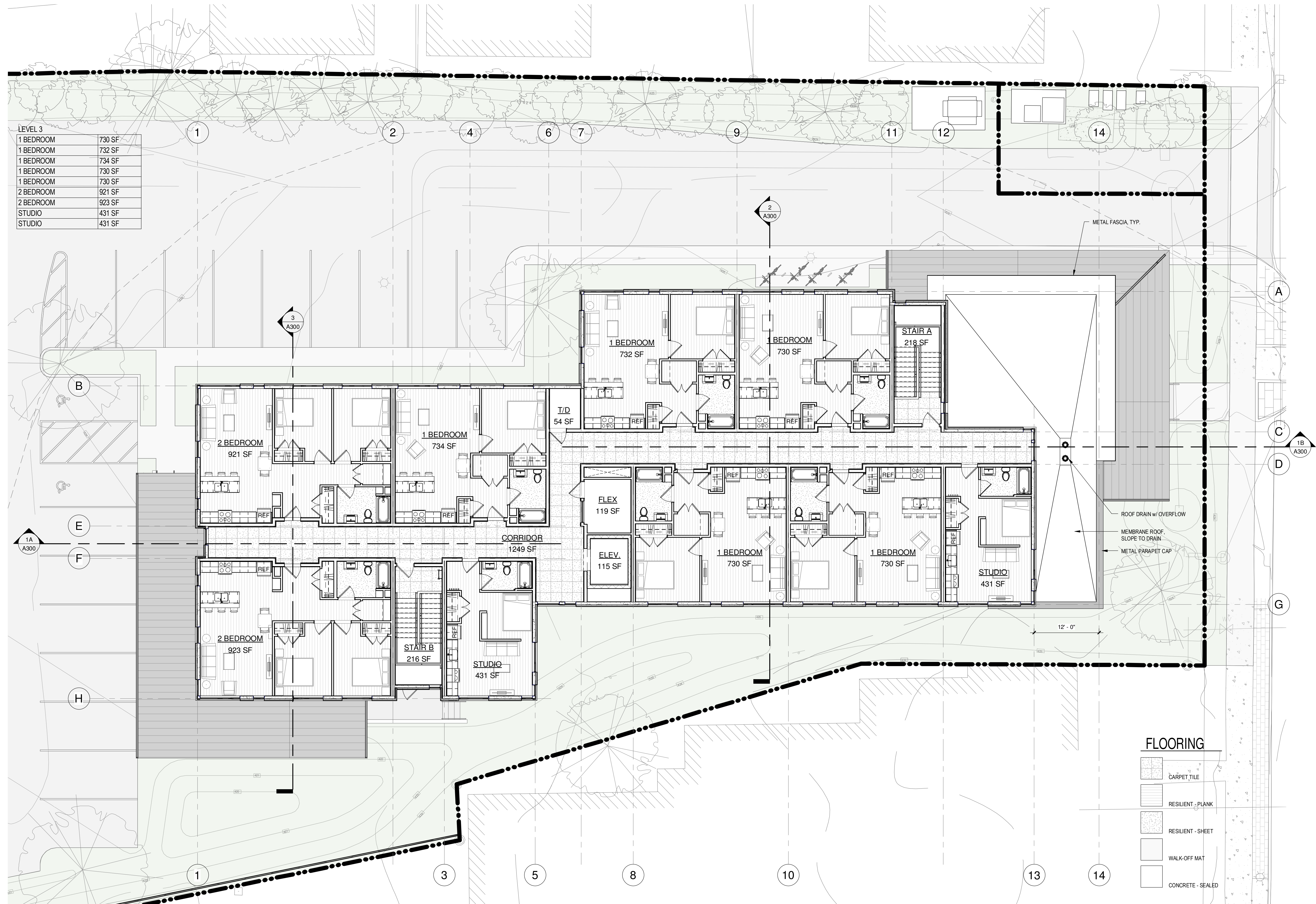




# Exhibit G3



LEVEL 3	
1 BEDROOM	730 SF
1 BEDROOM	732 SF
1 BEDROOM	734 SF
1 BEDROOM	730 SF
1 BEDROOM	730 SF
2 BEDROOM	921 SF
2 BEDROOM	923 SF
STUDIO	431 SF
STUDIO	431 SF



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Revisions:  
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Project Number: 2022-0017

Phase: ZONING / DRB

Scale: 1/8" = 1'-0"

Date: 08/21/2023

### FLOORING

- CARPET TILE
- RESILIENT - PLANK
- RESILIENT - SHEET
- WALK-OFF MAT
- CONCRETE - SEALED

1 LEVEL 3

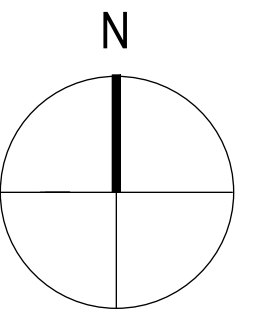
SCALE: 1/8" = 1'-0"

FLOOR PLAN  
- LEVEL 3

A103



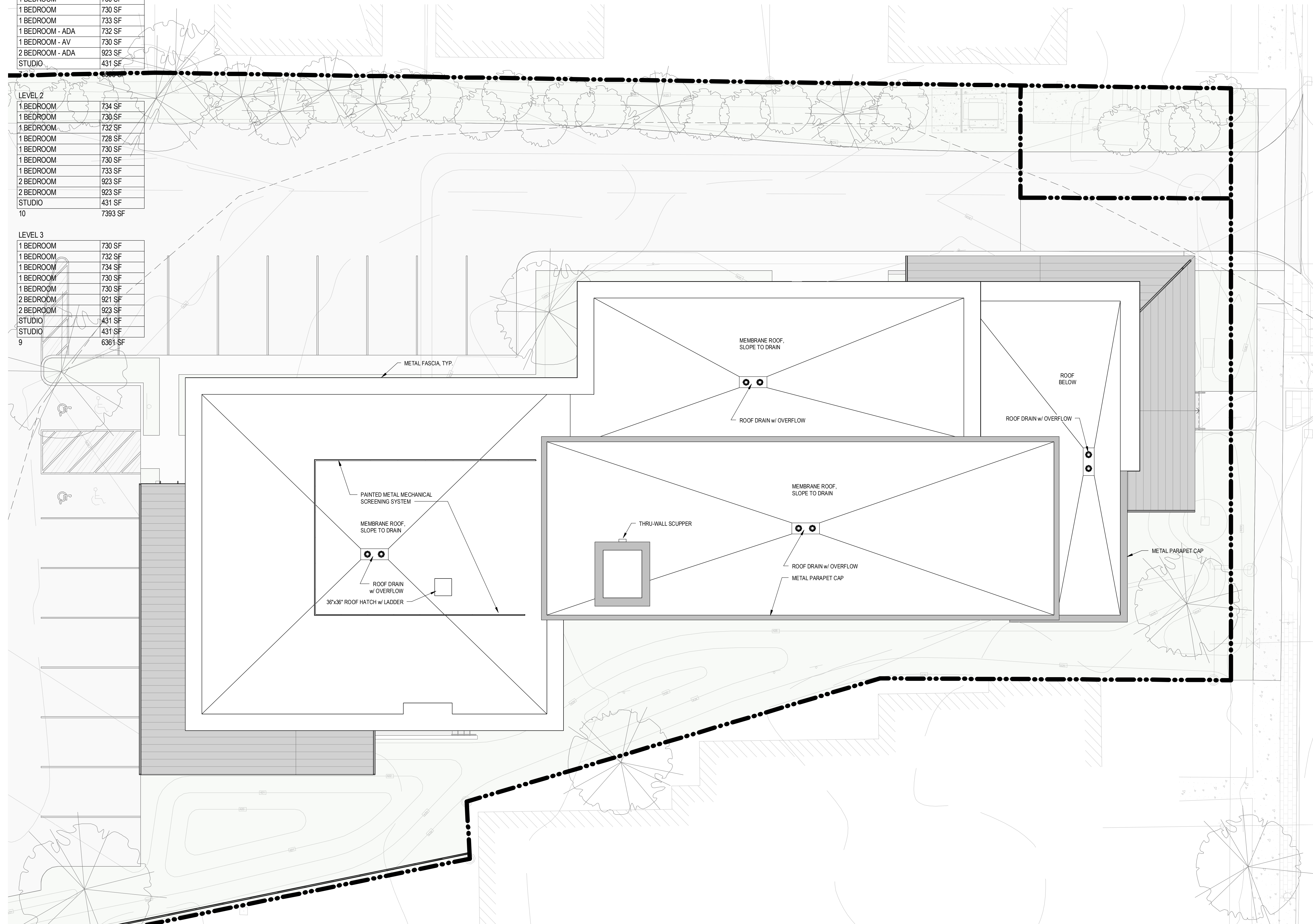
# Exhibit G4



LEVEL 1	
1 BEDROOM	730 SF
1 BEDROOM	730 SF
1 BEDROOM	733 SF
1 BEDROOM - ADA	732 SF
1 BEDROOM - AV	730 SF
2 BEDROOM - ADA	923 SF
STUDIO	431 SF

LEVEL 2	
1 BEDROOM	734 SF
1 BEDROOM	730 SF
1 BEDROOM	732 SF
1 BEDROOM	728 SF
1 BEDROOM	730 SF
1 BEDROOM	730 SF
1 BEDROOM	733 SF
2 BEDROOM	923 SF
2 BEDROOM	923 SF
STUDIO	431 SF
10	7393 SF

LEVEL 3	
1 BEDROOM	730 SF
1 BEDROOM	732 SF
1 BEDROOM	734 SF
1 BEDROOM	730 SF
1 BEDROOM	730 SF
2 BEDROOM	921 SF
2 BEDROOM	923 SF
STUDIO	431 SF
STUDIO	431 SF
9	6361 SF



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Date: 08/21/2023

ROOF PLAN

**A104**

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1 ROOF PLAN

SCALE: 1/8" = 1'-0"

8/21/2023 8:43:40 AM

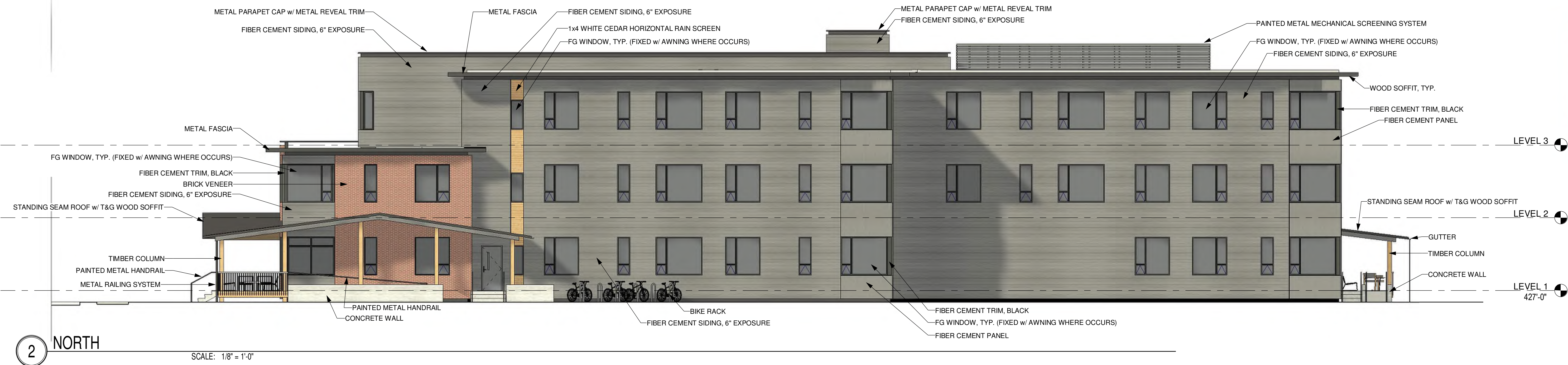


# Exhibit H1



1 EAST  
SCALE: 1/8" = 1'-0"

3 WEST  
SCALE: 1/8" = 1'-0"

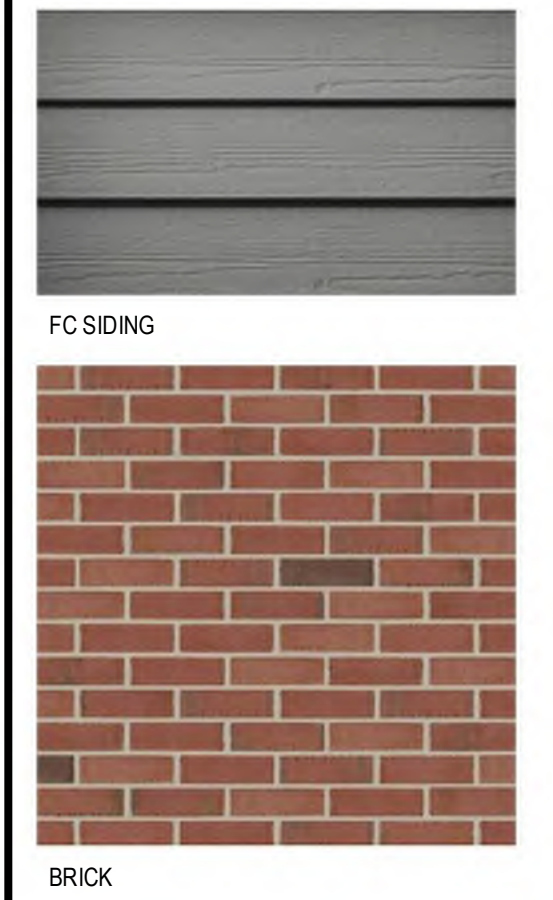


2 NORTH  
SCALE: 1/8" = 1'-0"



4 SOUTH  
SCALE: 1/8" = 1'-0"

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Revisions:	
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Project Number:	2022-0017
Phase:	ZONING / DRB
Scale:	1/8" = 1'-0"
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ELEVATIONS  
- COLOR

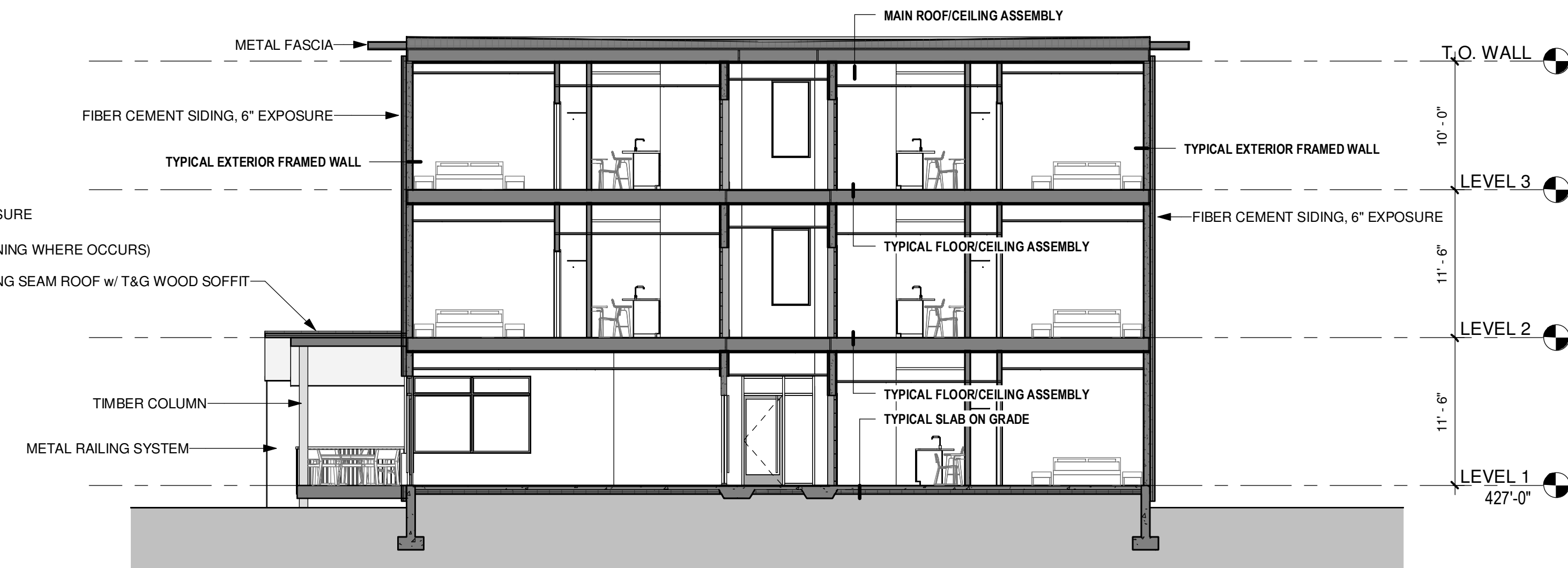
A200



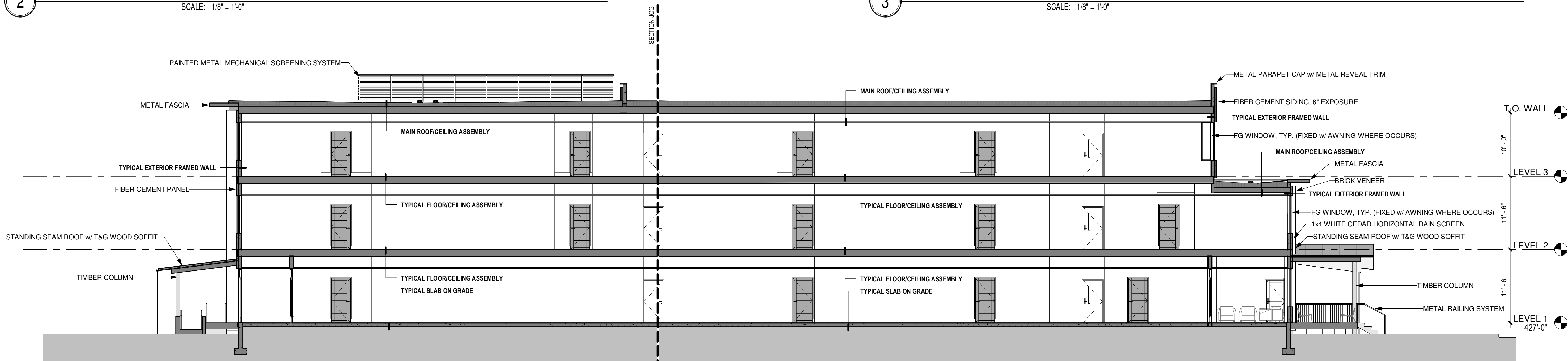
# Exhibit H2



2 BUILDING SECTION - 002  
SCALE: 1/8" = 1'-0"

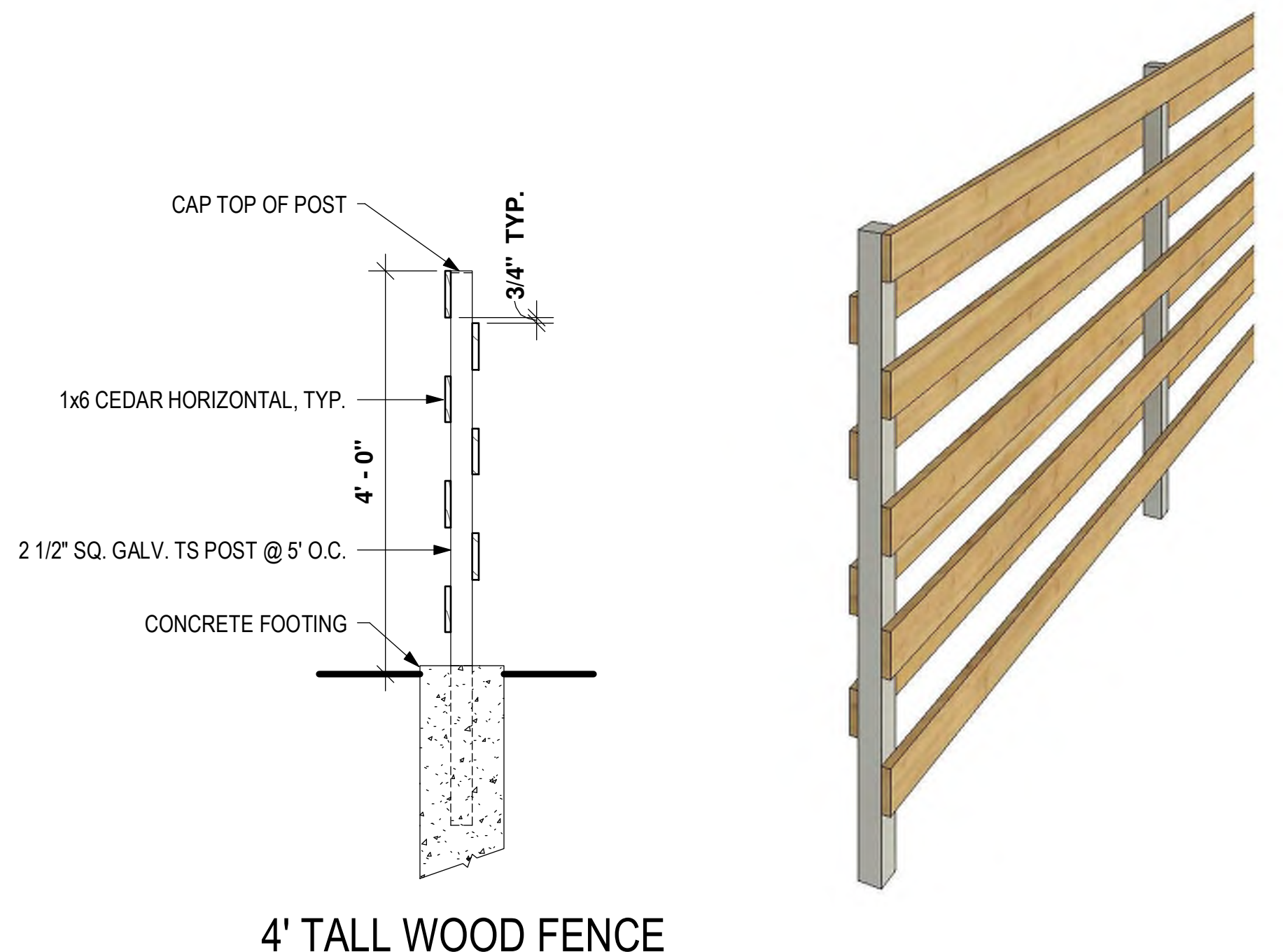


3 BUILDING SECTION - 003  
SCALE: 1/8" = 1'-0"

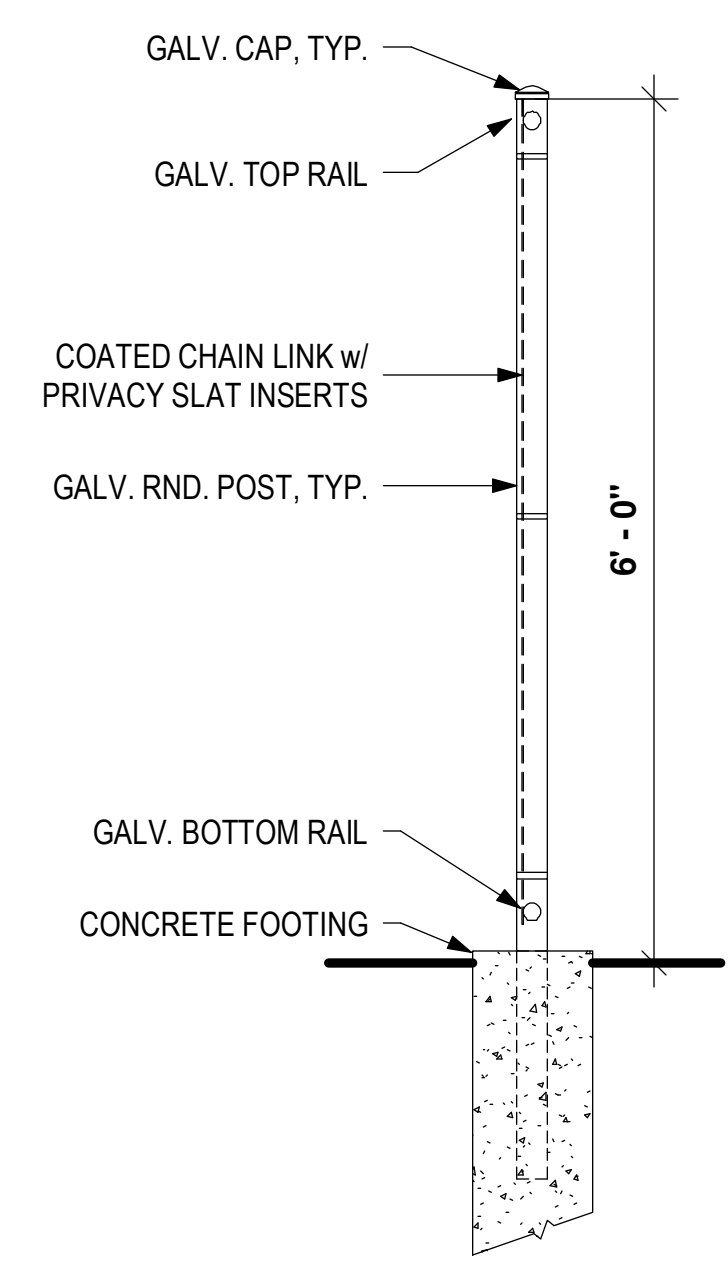


1A BUILDING SECTION - 001A  
SCALE: 1/8" = 1'-0"

1B BUILDING SECTION - 001B  
SCALE: 1/8" = 1'-0"



4' TALL WOOD FENCE



6' TALL CHAIN LINK w/ PVC SLAT INFILL



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BUILDING SECTIONS

A300



# Exhibit H3



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RENDERED  
VIEWS -  
MAIN ST.

**A400**

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# Exhibit I



55 S. Main St.



7 & 6 Parker Ct. (from site)



47 S. Main St.



5 Parker Ct.



48 S. Main St.



55 S. Main St. (from site)



Project Site: 51 S. Main St.



47 S. Main St. (from site)



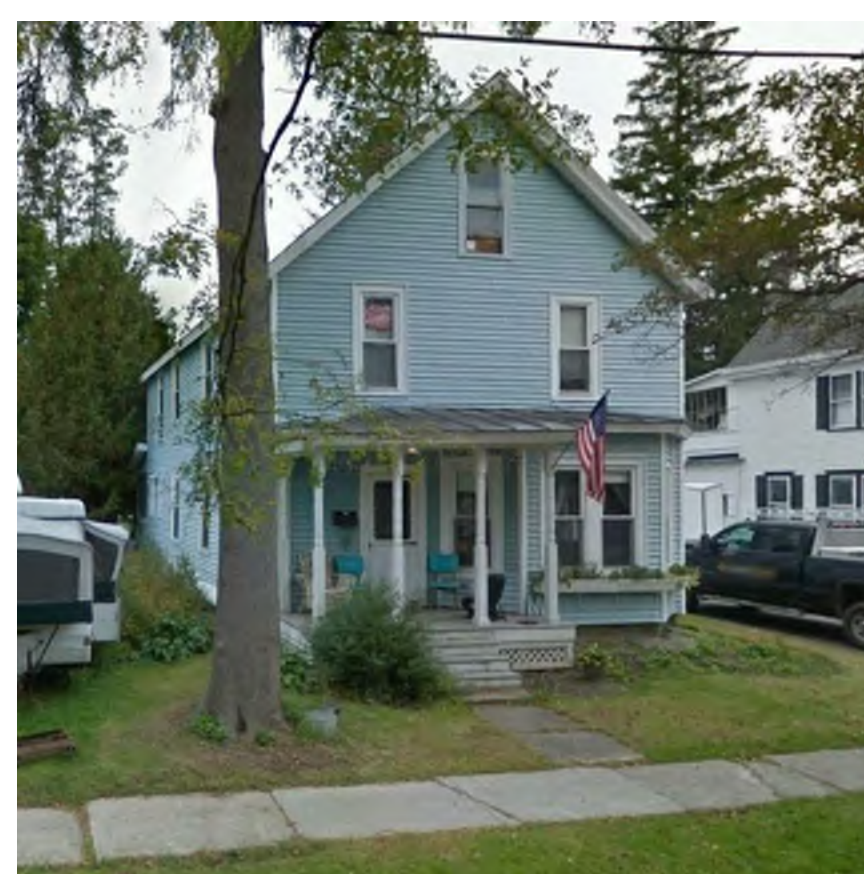
Back property line (to Randall St.)



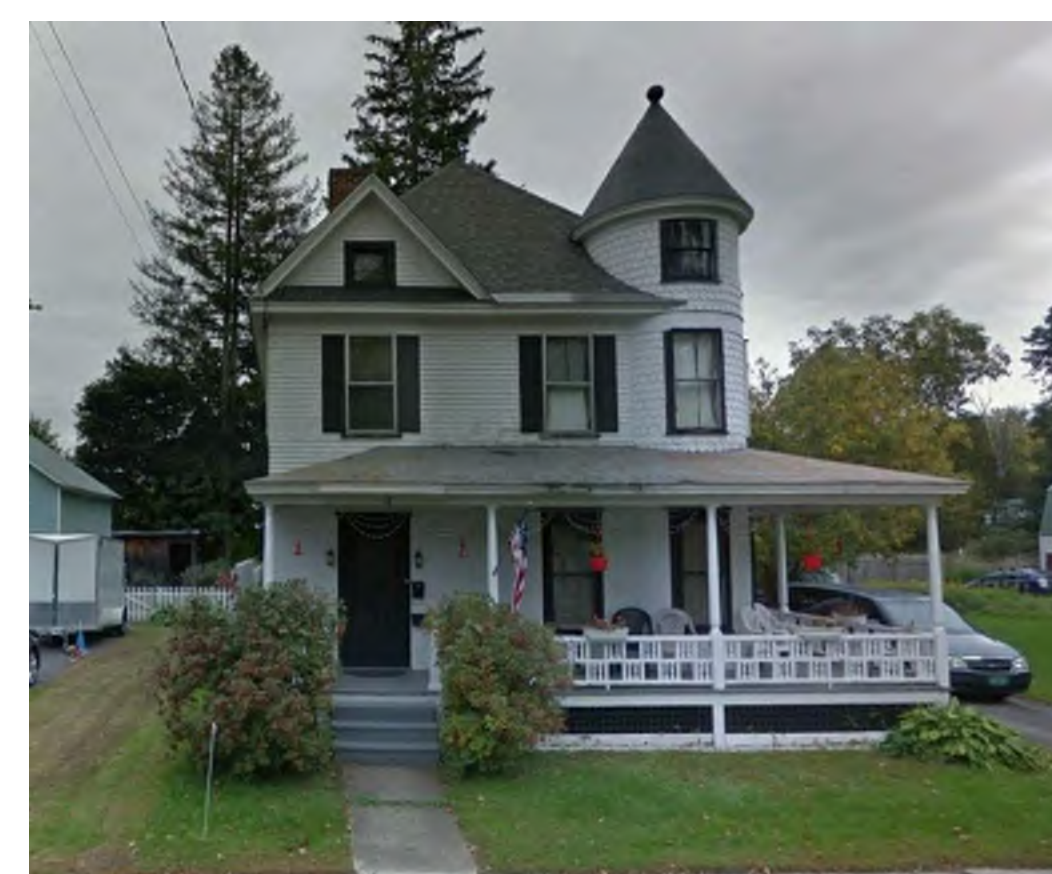
10 Randall St.



12 Randall St.



16 Randall St.



18 Randall St.



56 S. Main St.

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Scale

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**SITE  
PHOTOS**

**A500**

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