

# Exhibit A1

Date: <u>5/18/23</u>	Application #: <u>041-23</u>
Fees Paid: <u>150</u>	+ \$15 recording fee = <u>165</u>
Parcel ID #: <u>230-0163</u>	
Tax Map #: <u>13-114.041</u>	

## TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

### CONTACT INFORMATION

#### APPLICANT

Name: Eric Poulin  
 Mailing Address: 163 East Countryside Rd.  
Waterbury, VT 05676  
 Home Phone: (802) 461-7387  
 Work/Cell Phone: Same as Above  
 Email: Eric.Poulin@Hotmail.com

#### PROPERTY OWNER (if different from Applicant)

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Home Phone: \_\_\_\_\_  
 Work/Cell Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

### PROJECT DESCRIPTION

Physical location of project (E911 address): 163 East Countryside Rd.  
Waterbury, VT 05676  
 Lot size: 2 acres Zoning District: Route 100  
 Existing Use: Home Proposed Use: Adding Garage  
 Brief description of project: - 1646 S.F. Garage  
- Two bays, attached to existing house.  
- 5 ft. Frost walls and two story.

Cost of project: \$ 160,083 Estimated start date: ASAP.  
 Water system: Well Waste water system: Septic system

#### EXISTING

Square footage: 1723 Height: 27'  
 Number of bedrooms/baths: 3 / 2.5  
 # of parking spaces: 2  
 Setbacks: front: 200'  
 sides: R12' / L285' rear: 150'

#### PROPOSED

Square footage: 1646 Height: 26'  
 Number of bedrooms/bath: 1 / 1 Future  
 # of parking spaces: 4  
 Setbacks: front: ~200'  
 sides: R12 / L45' rear: ~150'

### ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit     E911 Address Request  
 Water & Sewer Allocation     none of the above

**[Additional State Permits may also be required]**

### CHECK ALL THAT APPLY:

#### NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Additic
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other \_\_\_\_\_

#### USE

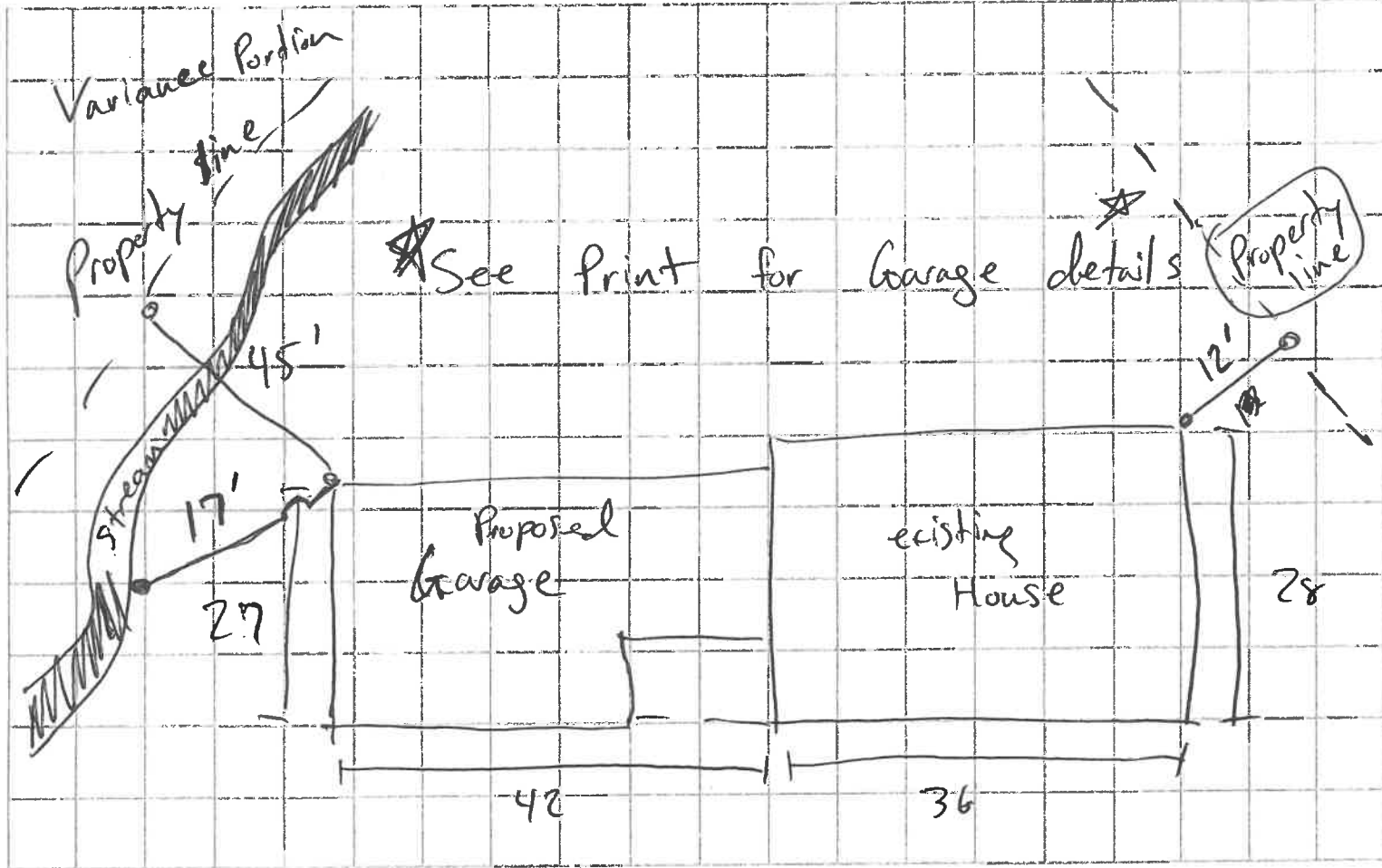
- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

#### OTHER

- Subdivision (# of Lots: \_\_\_\_\_)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other \_\_\_\_\_

**SKETCH PLAN**

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.



**SIGNATURES**

The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

Eric Paulin  
Applicant Signature

May 08, 2023  
date

Eric Paulin  
Property Owner Signature

May 08, 2023  
date

**CONTACT**

Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

**OFFICE USE ONLY**

Zoning District/Overlay: RT 100  
Review type:  Administrative  DRB Public Warning Required:  Yes  No  
DRB Referral Issued (effective 15-days later): 5/19/23  
DRB Mtg Date: 6/7/23 Decision Date: \_\_\_\_\_  
Date Permit issued (effective 16-days later): \_\_\_\_\_  
Final Plat due (for Subdivision only): \_\_\_\_\_  
Remarks & Conditions: \_\_\_\_\_  
Authorized signature: \_\_\_\_\_ Date: \_\_\_\_\_

REVIEW/APPLICATIONS:  
 Conditional Use  Waiver  
 Site Plan  
 Variance  
Subdivision:  
 Subdv.  BLA  PUD  
Overlay:  
 DDR  SFHA  RHS  CMP  
 Sign  
 Other \_\_\_\_\_  
 n/a

# Exhibit A3

## TOWN OF WATERBURY CONDITIONAL USE INFORMATION

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

### PROJECT DESCRIPTION

Brief description of project: New attached Garage at 163 east  
Countryside Rd. Waterbury, VT Property.

### CONDITIONAL USE CRITERIA

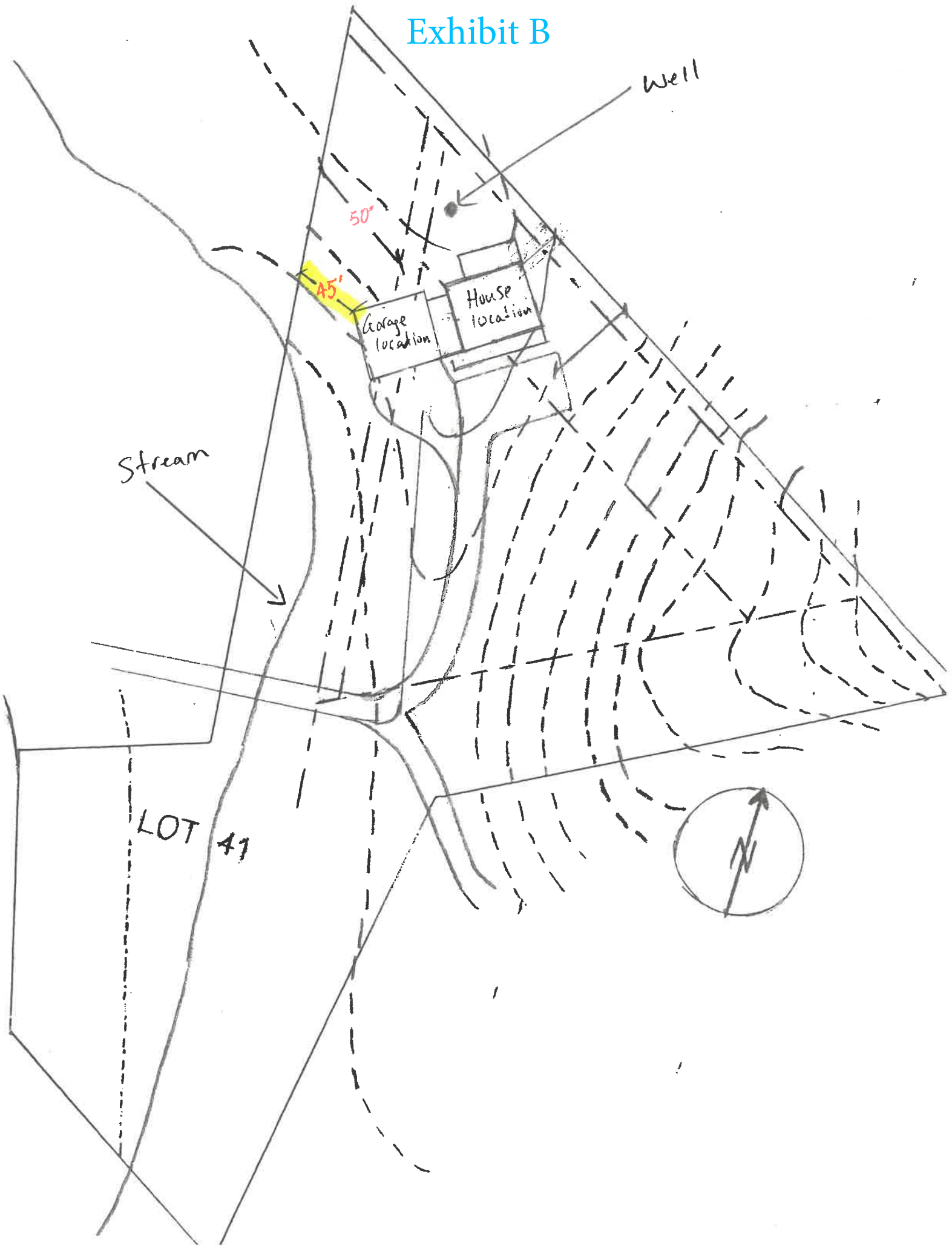
Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services): The Garage will use the same established driveway the home uses. It will have a small foot print and will allow better use of land space.
2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located: The Garage will be attached to the existing home and will ~~not~~ match the character of the existing home.
3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect: Attached garage used for parking of cars and equipment.
4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration: minimal equipment on site.
5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

Minimal to no earth will be removed from the property. A small amount of gravel and stone will be brought in for structural purpose.

**CONTACT** Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676  
Municipal Website: [www.waterburyvt.com](http://www.waterburyvt.com)

# Exhibit B



# Exhibit C1



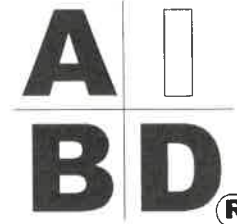
# House Plan Zone, LLC.

www.HPZplans.com

Phone: 601.336.3254

Email: sales@hpszplans.com

Fax: 1-800-574-1387



## STANDARD ABBREVIATIONS

AT FOUNDATION	LT LIGHT LINE
ABV. ABOVE	MANU. MANUFACTURER
APPROX. APPROXIMATELY	MAS MASONRY
BASE BASEMENT	MAX MAXIMUM
BT BETWEEN	MEAL MEAL
BK BLOCK	MIN MINIMUM
BFS BLOCKING	N.L.C. NOT IN CONTRACT
BD BOARD	O.C. ON CENTER
BTD BOARD	O.C. ON CENTER
BOT. BOTTOM	OPT. OPTIONAL
B.D.G. BUILDING	O.S.B. ORIENTED STRAND BOARD
CAB CABINET	O.T.S. OWNER TO SELECT
C.C.S. CEILING	PAK PAK
C.L.B. CLIP	PAN PANTRY
C.L.R. CLOSET	PL PLATE
C.O.L. COLLAR	P.P. PLATE
C.O.L.B. COLUMN	PLYWOOD PLYWOOD
C.O.N.C. CONCRETE	PLYWOOD PLYWOOD
C.M.U. CONCRETE MASONRY UNIT	P.P.T. POLYETHYLENE
C.N. CONNECTION	P.S.I. POUNDS PER SQUARE INCH
C.O.N.T. CONTINUOUS	P.F.B. PREFABRICATED
C.O.V.E.R.S. COVERING	REF. REFERENCE
C.S. CRAWL SPACE	REF. REFRIGERATOR
DECOR. DECORATIVE	REIN. REINFORCED
DET. DETAIL	R. REFRIGERATOR
DIA. DAMPER	R.A. RETURN AIR
DM. DISHWASHER	R.A.S. RETURN AIR RELIEF
DBL. DOUBLE	R.S.D. REQUIRED
DISP. DISPOSABLE	SCR. SCREEN
D. DRYER	S.H.L.V.S. SHELVES
EA. EAVE	SHR. SHOWER
ELEV. ELEVATION	S.M.P.S. SIMPSON STRONG TIE
ENG. ENGINEER	S.F. SQUARE FEET
FF. FEET	S.F. SQUARE FOOTAGE
F.F.L. FINISHED FLOOR LINE	STL. STEEL
FIN. FINISH	THK. THICK
F.C. FIRE CODE	THK. THICKNESS
F.L.P. FLOOR	T.B.D. TO BE DETERMINED
F.T.G. FOOTING	TR. TRANSOM
FOUND. FOUNDATION	TYP. TYPICAL
FND. FOUNDATION	U.T.C. UNDER THE COUNTER
FR. FREEZER	UTIL. UTILITY
GA. GALVANIZED	VAN. VANITY
GYP. GYPSUM	VERT. VERTICAL
HDR. HEADERS	WH. WATER HEATER
HVAC. HEATING, VENTILATION & AIR CONDITIONING	PL. PANSHER
HT. HEIGHT	PT. PITCH
HTS. HEIGHTS	P.N. PENDING
HORIZ. HORIZONTAL	P.P.T. PREFABRICATED
IN. INCHES	P.V. PITCH
INCL. INCLUDE	P.W. PITCH
INSUL. INSULATION	P.W. PITCH
IT. JOINT	P.W. PITCH
JST. JOIST	P.W. PITCH
JSTS. JOISTS	P.W. PITCH



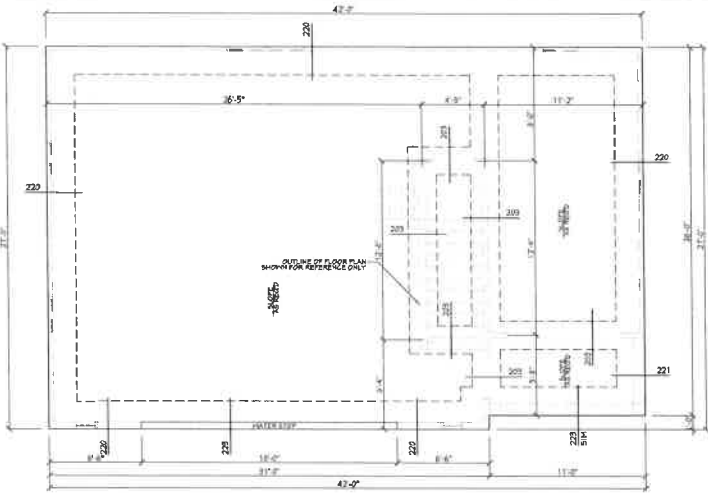
## G522-SR

### SHEET INDEX:

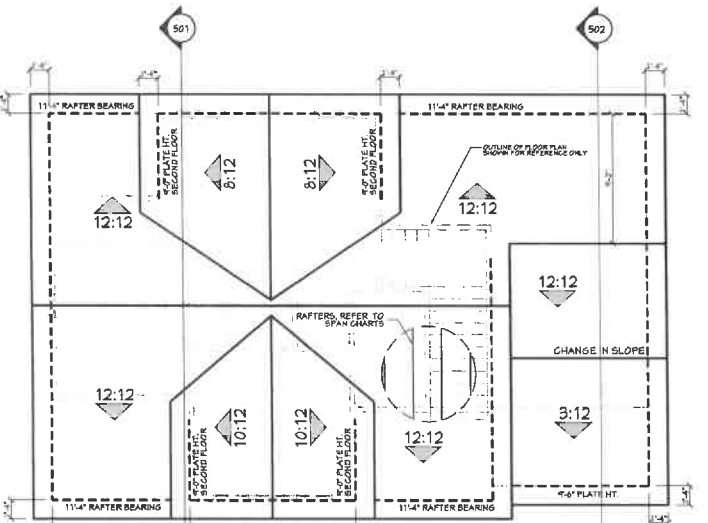
- 1 COVER SHEET
- 2 FOUNDATION/ROOF PLAN
- 3 FLOOR PLANS
- 4 EXTERIOR VIEWS
- 5 SECTIONS & CABINET VIEWS
- 6 ELECTRICAL PLANS
- N1 I.R.C. CODE SHEET
- N2 I.R.C. CODE SHEET
- N3 I.R.C. CODE SHEET
- N4 I.R.C. ENERGY EFFICIENCY SHEET

Date:	6.11.20
Drawn By:	C.A.B.
Plan Number:	
SHEET NUMBER	
1	

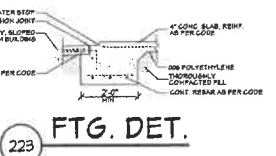
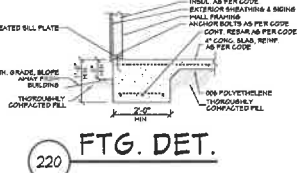
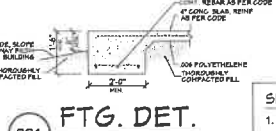
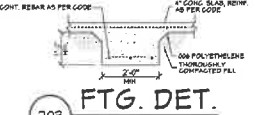
# Exhibit C2



**201 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**240 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**SLAB FOUNDATION NOTES:**

1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.

ROOF PITCH	FACTOR
8:12	1.09
9:12	1.07
10:12	1.06
11:12	1.04
12:12	1.00
13:12	0.96
14:12	0.92
15:12	0.87
16:12	0.82
17:12	0.77
18:12	0.72
19:12	0.67
20:12	0.63

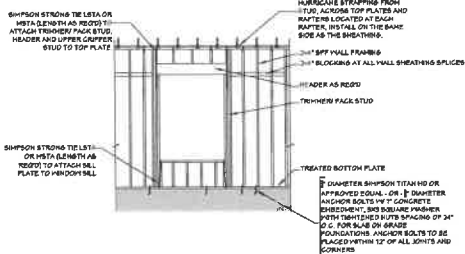
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR ENCLOSED APPROPRIATE FACTOR BY ROOF PITCH

IF CONVENTIONAL RAFTER ROOF PITCH IS		THEN HIP/VALLEY RAFTER ROOF PITCH BECOMES	
RIBB RUN	SLOPE	RIBB RUN	SLOPE
12:12	9"	17:13	9"
12:12	10"	23:13	9"
12:12	12"	26:13	9"
12:12	14"	31:13	9"
12:12	16"	37:13	9"
12:12	18"	43:13	9"
12:12	20"	50:13	9"
12:12	24"	61:13	9"
12:12	30"	76:13	9"
12:12	36"	92:13	9"
12:12	42"	109:13	9"
12:12	48"	127:13	9"

CONVERSION CHART FOR SIMPLE ROOFS ONLY - CHART DOES NOT APPLY FOR DUAL PITCH ROOFS

**ROOF PLAN NOTES:**

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 12", NO. 2 S.P.F. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



**241 WALL/ROOF FASTENING DETAILS**  
SCALE: 1/4" = 1'-0"

SIZE	RAFTER SPANS FOR SOUTHERN PINE SPECIES LIVE LOAD = 30psf, LG-180, DEAD LOAD = 10psf	
	SPACINGS (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACINGS) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
	12.0	16-4
	16.0	14-2
2 x 8	19.2	12-11
	24.0	11-7
	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-4
2 x 10	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2
	12.0	26-10
	16.0	22-10

NOTES:  
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

SIZE	CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITH LIMITED STORAGE, LIVE LOAD = 20psf, LG-240, DEAD LOAD = 10psf)	
	SPACINGS (INCHES)	SPANS (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	4-3
	16.0	4-0
	19.2	3-4
	24.0	4-1
	12.0	15-11
2 x 6	16.0	12-0
	19.2	11-0
	24.0	9-10
	12.0	13-0
	16.0	11-7
2 x 8	16.0	15-3
	19.2	13-11
	24.0	12-6
	12.0	20-11
	16.0	18-1
2 x 10	19.2	16-8
	24.0	14-4
	12.0	23-10
	16.0	20-10

NOTES:  
The above tables are based on the IRC 2018 TABLE R802.5.1(2)



Website: [www.HPZplans.com](http://www.HPZplans.com)  
Email: [sales@hpzplans.com](mailto:sales@hpzplans.com)  
Phone: 601.336.3254  
Fax: 1.800.574.1387



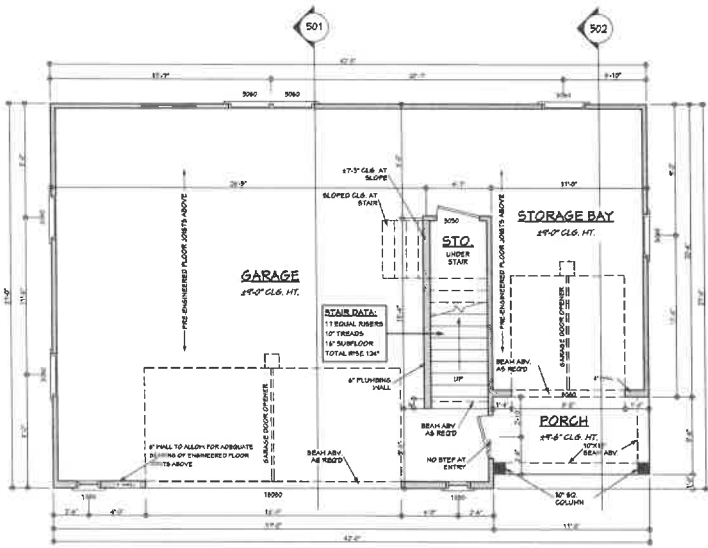
Pre-Drawn Plan ID: **G522-SR**

House Plan Zone, LLC, the enclosed plans and specifications are the property of House Plan Zone, LLC. All rights reserved. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of House Plan Zone, LLC. The contractor shall verify all dimensions and specifications with the local building department. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for providing all necessary materials and labor. The contractor shall be responsible for the quality of workmanship and materials. The contractor shall be responsible for the safety of all workers. The contractor shall be responsible for the cleanup of the site. The contractor shall be responsible for the disposal of all waste materials. The contractor shall be responsible for the protection of all existing utilities. The contractor shall be responsible for the protection of all existing structures. The contractor shall be responsible for the protection of all existing landscaping. The contractor shall be responsible for the protection of all existing trees. The contractor shall be responsible for the protection of all existing water features. The contractor shall be responsible for the protection of all existing underground utilities. The contractor shall be responsible for the protection of all existing underground structures. The contractor shall be responsible for the protection of all existing underground piping. The contractor shall be responsible for the protection of all existing underground conduits. The contractor shall be responsible for the protection of all existing underground cables. The contractor shall be responsible for the protection of all existing underground wires. The contractor shall be responsible for the protection of all existing underground lines. The contractor shall be responsible for the protection of all existing underground services. The contractor shall be responsible for the protection of all existing underground facilities. The contractor shall be responsible for the protection of all existing underground infrastructure. The contractor shall be responsible for the protection of all existing underground assets. The contractor shall be responsible for the protection of all existing underground resources. The contractor shall be responsible for the protection of all existing underground utilities. The contractor shall be responsible for the protection of all existing underground structures. The contractor shall be responsible for the protection of all existing underground piping. The contractor shall be responsible for the protection of all existing underground conduits. The contractor shall be responsible for the protection of all existing underground cables. The contractor shall be responsible for the protection of all existing underground wires. The contractor shall be responsible for the protection of all existing underground lines. The contractor shall be responsible for the protection of all existing underground services. The contractor shall be responsible for the protection of all existing underground facilities. The contractor shall be responsible for the protection of all existing underground infrastructure. The contractor shall be responsible for the protection of all existing underground assets. The contractor shall be responsible for the protection of all existing underground resources.

Date: 6.11.20  
Drawn By: C.A.B.

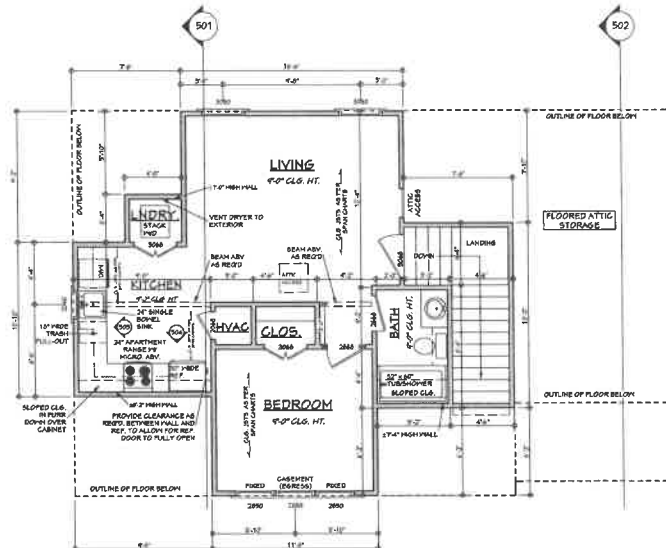
**SHEET NUMBER**  
**2**

# Exhibit C3



## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

**AREAS (FRAME):**

522	S.F. HEATED
61	S.F. UNHEATED - PORCH
819	S.F. UNHEATED - GARAGE (INCLUDES STAIR)
244	S.F. UNHEATED - STORAGE BAY
1124	S.F. UNHEATED - TOTAL
1646	S.F. TOTAL UNDER ROOF

**FRAMING SQUARE FOOTAGE CALCULATION NOTES:**  
 1. SQUARE FOOTAGE OF HEATED AREA IS FIGURED TO THE OUTSIDE OF THE STUD/WALL OF THE EXTERIOR WALLS (DOES NOT INCLUDE MASS/CONCRETE OR OTHER EXTERIOR MATERIALS).  
 2. DECKS THAT PROTRUDE FROM THE EXTERIOR FOOTPRINT ARE NOT INCLUDED IN THE HEATED AREA.  
 3. STAIRWELL IS INCLUDED IN THE UNHEATED AREA OF THE GARAGE AND NOT THE HEATED AREA OF THE SECOND FLOOR.

- NOTES:**
- ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  - ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
  - VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
  - CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
  - ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
  - PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 50 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT, OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE TREADS. INSET GREENING SHALL NOT BE CONSIDERED AS A GUARD. (IRC 2018, R312.1.1 & R312.1.2)
  - WELLS, TAPPLINGS, IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
  - EXCEPTIONS:  
 a. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.  
 b. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 30 FEET LONG.  
 c. APPLIANCE ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. (M1509.1.1)
  - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES CONTROLLING PITCH WITH T-200 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
  - ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1603 OF THE IRC 2018.
  - ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
  - FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED IF REQUIRED BY LOCAL CODES AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
  - ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME, AND NOT INTO THE ATTIC. (IRC 2018, M1509.2)



Website:  
www.HPZplans.com  
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sales@hpzplans.com  
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Pre-Drawn Plan ID: **G522-SR**

Home Plan Zone, LLC has searched public records and elected to base the construction of these plans and the construction of these construction documents on the information available in public records. Home Plan Zone, LLC does not warrant the accuracy of the information provided in public records. Home Plan Zone, LLC is not responsible for any errors or omissions in these plans or construction documents. Home Plan Zone, LLC is not responsible for any errors or omissions in these plans or construction documents. Home Plan Zone, LLC is not responsible for any errors or omissions in these plans or construction documents. Home Plan Zone, LLC is not responsible for any errors or omissions in these plans or construction documents.

Date: 6.11.20  
Drawn By: C.A.B.

SHEET NUMBER  
**3**

# Exhibit C4

**NOTE: CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE**

**401 LEFT VIEW**  
SCALE: 1/4" = 1'-0"

**NOTE: CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE**

**403 FRONT VIEW**  
SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES:**  
 1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.  
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.  
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.  
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.  
 5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER HSG. INFORMATION.  
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS RECD BY CURRENT CODES.

**NOTE: CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE**

**402 RIGHT VIEW**  
SCALE: 1/4" = 1'-0"

**NOTE: CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE**

**404 REAR VIEW**  
SCALE: 1/4" = 1'-0"

**405 WD. BRACKET**  
SCALE: N.T.S.

**NOTE: CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE**

**OPENING SIZES/ EGRESS**  
SCALE: N.T.S.

**406 TRIM DETAIL**  
SCALE: 1/2" = 1'-0"

**407 GARAGE DOOR CLEARANCE**  
SCALE: N.T.S.

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.

**HOUSE PLAN ZONE**  
*Designing Homes Building Relationships*

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**N · C · B · D · C**

JERRIT L. BOONE  
REGISTERED ARCHITECT

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Pre-Drawn Plan ID: **G522-SR**

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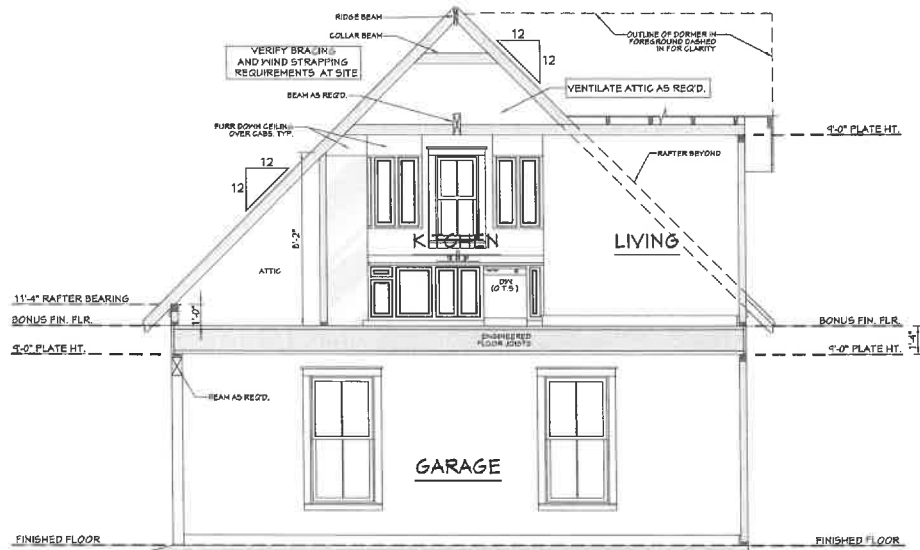
Date: 6.11.20  
 Drawn By: C.A.B.

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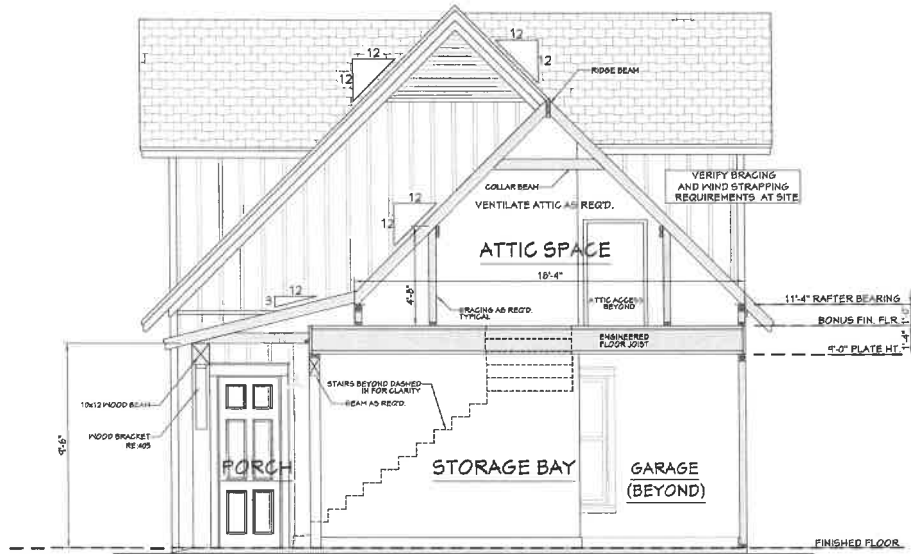
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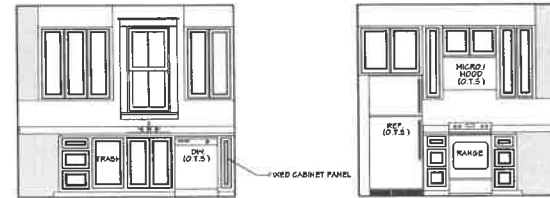
# Exhibit C5



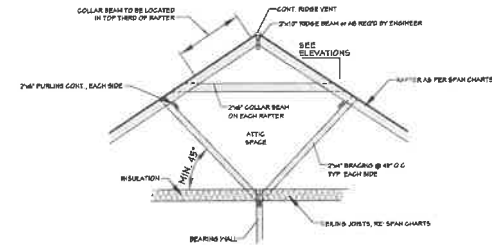
**501**  
**CROSS SECTION**  
 SCALE.....3/8"=1'-0"



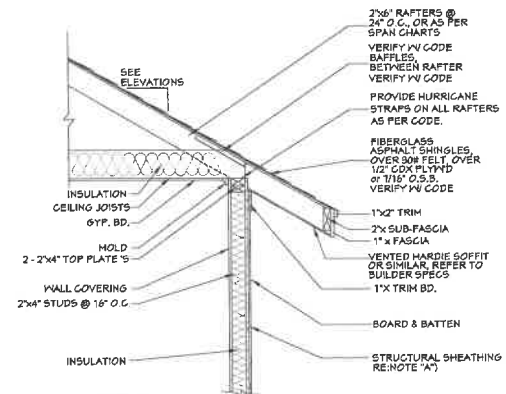
**502**  
**CROSS SECTION**  
 SCALE.....3/8"=1'-0"



**503** **KITCHEN** SCALE.....3/8"=1'-0"  
**504** **KITCHEN** SCALE.....3/8"=1'-0"



**505**  
**TYP. ROOF BRACING**  
 SCALE.....N.T.S.



**NOTE "A":**  
 PROVIDE A MINIMUM OF 1/8" STRUCTURAL WOOD PANEL ATTACHED BY 8# COMMON OR 10# BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.  
**NOTE "B":** CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPEC'S FOR ACTUAL MATERIALS.

**506**  
**TYP. CORNICE DETAIL**  
 SCALE.....N.T.S.

- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", OR AS REQ'D BY ENGINEER.
  3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
  4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
  5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
  6. ALL LUMBER SIZES AND SPACINGS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.

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Pre-Drawn Plan ID:

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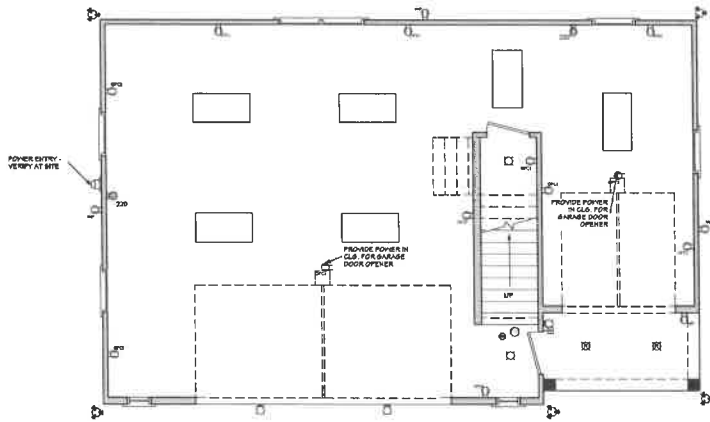
Date: 6.11.20

Drawn By: C.A.B.

HEET NUMBER

**5**

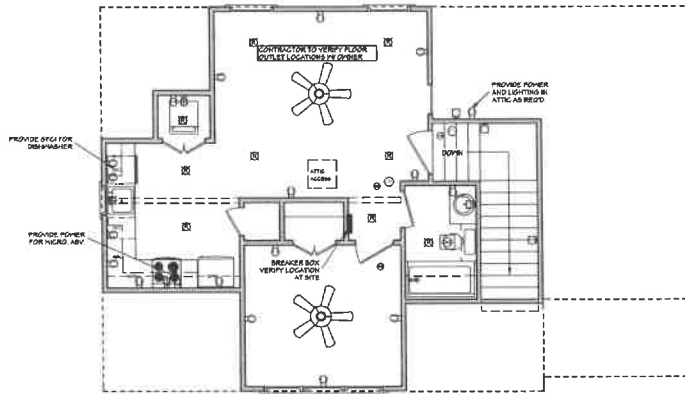
# Exhibit C6



**FIRST FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

NOTE: SWITCHES AND ELECTRICAL CONNECTIONS ARE NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR AT SITE.

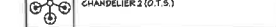
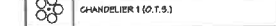
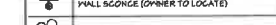


**SECOND FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	110 VOLT OUTLET
[Symbol]	GROUND FAULT PROTECTED OUTLET
[Symbol]	WEATHERPROOF OUTLET
[Symbol]	220 VOLT RECEPTACLE
[Symbol]	FLOOR OUTLET (OWNER TO LOCATE)
[Symbol]	CEILING HUNG FIXTURE
[Symbol]	OVERHEAD MOUNTED FLOODLIGHTS
[Symbol]	WALL MOUNTED FLOODLIGHTS
[Symbol]	RECESSED CEILING FIXTURE
[Symbol]	FLUORESCENT LIGHT
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	SMOKE DETECTOR
[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	DINER SWITCH (OWNER TO LOCATE)
[Symbol]	DOOR ACTIVATED SWITCH
[Symbol]	WEATHERPROOF OUTLET
[Symbol]	GATS NETWORKING JACK (OWNER TO LOCATE)
[Symbol]	TELEPHONE OUTLET (OWNER TO LOCATE)
[Symbol]	TELEVISION OUTLET (OWNER TO LOCATE)
[Symbol]	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
[Symbol]	THERMOSTAT (CONTRACTOR TO LOCATE)
[Symbol]	CEILING EXHAUST FAN, VENT TO EXTERIOR
[Symbol]	TV SPEAKER
[Symbol]	RADIO SPEAKER



**ELECTRICAL NOTES:**  
 1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.  
 2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BENCHES AND HABITABLE ATTICS WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACK UP.  
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITH FINISH FLOORING AND APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.  
 4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



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Pre-Drawn Plan ID: **G522-SR**

House Plan Zone, LLC has provided these plans and specifications for the development of these plans and the completion of these construction documents. It is the responsibility of the contractor to verify all dimensions, materials, and specifications. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations. The contractor shall be responsible for the accuracy of the information provided on these plans and for the results of the construction. The contractor shall be responsible for the safety of the construction site and for the protection of the property. The contractor shall be responsible for the completion of the construction within the specified time frame. The contractor shall be responsible for the payment of all bills and for the satisfaction of the client. The contractor shall be responsible for the maintenance of the construction site and for the removal of all debris. The contractor shall be responsible for the cleanup of the construction site and for the restoration of the property. The contractor shall be responsible for the completion of the construction and for the satisfaction of the client.

Date: 6.11.20

Drawn By: C.A.B.

SHEET NUMBER

**6**



# 163 E. Countryside Rd.

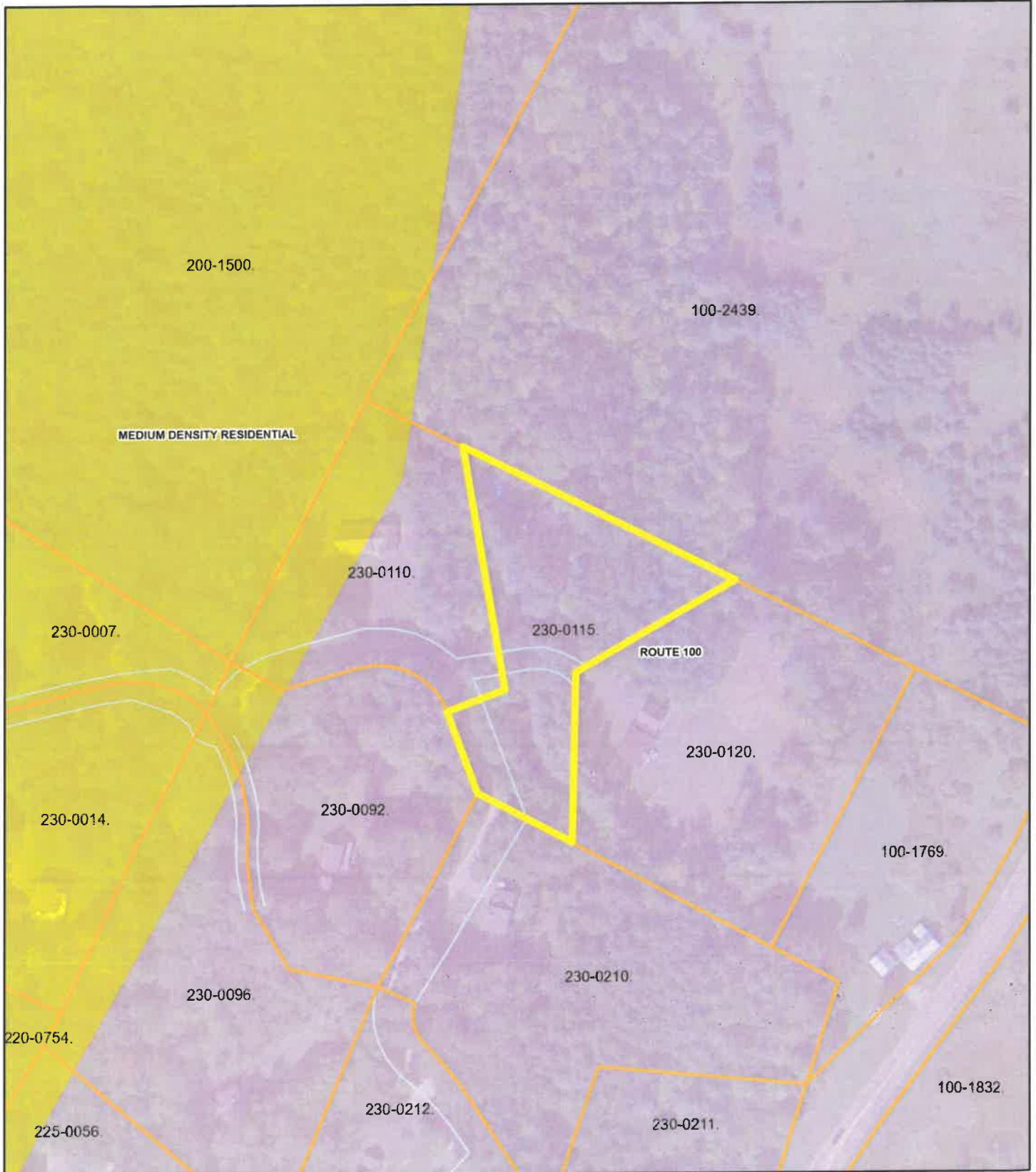
Waterbury, VT

1 inch = 188 Feet



www.cai-tech.com

June 2, 2023



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# 163 E. Countryside Rd.

Waterbury, VT

1 inch = 188 Feet



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