

# Exhibit A1

Date:	<u>2/10/23</u>	Application #:	<u>008-23</u>
Fees Paid:	<u>150</u>	+ \$15 recording fee =	<u>165</u>
Parcel ID #:	<u>978-0004.V</u>		
Tax Map #:	<u>19-113.000</u>		

## TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

### CONTACT INFORMATION

#### APPLICANT

Name: Chuck Adams  
Mailing Address: Lewis Creek Builders  
14 Morse Dr., Essex Junction, VT 05452  
Home Phone : \_\_\_\_\_  
Work/Cell Phone: 913.908.6991  
Email: mgmt@lewiscreekbuilders.com

#### PROPERTY OWNER (if different from Applicant)

Name: Lily Engle and Dennis Kramer  
Mailing Address: 4 Ellinwood Ave.  
Waterbury, VT 05676  
Home Phone : \_\_\_\_\_  
Work/Cell Phone: 860-671-1067, 917-848-2186  
Email: lilycengle@gmail.com, dennispkramer@gmail.com

### PROJECT DESCRIPTION

Physical location of project (E911 address): 4 Ellinwood Ave.  
Waterbury, VT 05676

Lot size: 29621 Zoning District: VR  
Existing Use: SF Proposed Use: Single Family

Brief description of project: \_\_\_\_\_  
75 SF kitchen addition at front of house with additional interior renovations

Cost of project: \$ 200,000 Estimated start date: May 2023  
Water system: Municipal Waste water system: Municipal

EXISTING		PROPOSED	
Square footage:	<u>1415</u>	Square footage:	<u>1490</u>
Height:	<u>14'-2"</u>	Height:	<u>14'-2"</u>
Number of bedrooms/baths:	<u>3/2</u>	Number of bedrooms/bath:	<u>3/2</u>
# of parking spaces:	<u>2 off street</u>	# of parking spaces:	<u>2 off street</u>
Setbacks: front:	<u>26' (non-conforming)</u>	Setbacks: front:	<u>26'</u>
sides:	<u>16' / 36'</u>	sides:	<u>16' / 36'</u>
rear:	<u>128.5'</u>	rear:	<u>128.5'</u>

### ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit     E911 Address Request  
 Water & Sewer Allocation     none of the above

**[Additional State Permits may also be required]**

### CHECK ALL THAT APPLY:

#### NEW CONSTRUCTION

- Single-Family Dwelling  
 Two-Family Dwelling  
 Multi-Family Dwelling  
 Commercial / Industrial Building  
 Residential Building Addition  
 Comm./ Industrial Building Addition  
 Accessory Structure (garage, shed)  
 Accessory Apartment  
 Porch / Deck / Fence / Pool / Ramp  
 Development in SFHA (including repairs and renovation)  
 Other \_\_\_\_\_

#### USE

- Establish new use  
 Change existing use  
 Expand existing use  
 Establish home occupation

#### OTHER

- Subdivision (# of Lots: \_\_\_\_\_)  
 Boundary Line Adjustment (BLA)  
 Planned Unit Development (PUD)  
 Parking Lot  
 Soil/sand/gravel/mineral extraction  
 Other \_\_\_\_\_

# Exhibit A2

## SKETCH PLAN

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

Please see attached drawing set.

## SIGNATURES

The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

 2/8/2023  
 Applicant Signature date  
  2/8/2023  
 Property Owner Signature date

## CONTACT

Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

### OFFICE USE ONLY

Zoning District/Overlay: VR

Review type:  Administrative  DRB Public Warning Required:  Yes  No

DRB Referral Issued (effective 15-days later): \_\_\_\_\_

DRB Mtg Date: 3.15.2023 Decision Date: \_\_\_\_\_

Date Permit issued (effective 16-days later): \_\_\_\_\_

Final Plat due (for Subdivision only): \_\_\_\_\_

Remarks & Conditions: \_\_\_\_\_

Authorized signature: \_\_\_\_\_ Date: \_\_\_\_\_

#### REVIEW/APPLICATIONS:

- Conditional Use  Waiver
- Site Plan
- Variance
- Subdivision:
  - Subdv.  BLA  PUD
- Overlay:
  - DDR  SFHA  RHS  CMP
  - Sign
  - Other \_\_\_\_\_
  - n/a

# Exhibit A3

Date:	_____	Application #:	_____
Fees Paid:	_____	(\$15 recording fee already paid)	
Parcel ID #:	_____		
Tax Map #:	_____		

## TOWN OF WATERBURY CONDITIONAL USE INFORMATION

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

**PROJECT DESCRIPTION** 75 sf kitchen addition at the front of the house with additional interior renovations.  
Brief description of project: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):  
Existing curb cut and municipal services will not be changed or affected. Existing off-street parking will remain unchanged and continue to serve only the residents.
2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:  
The project is residential and will not require a change of use. The addition will improve the street facing facade and is in keeping with the character of the house and neighborhood.
3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:  
No change in use is required. The addition extends only as far forward as the existing extension of the house and is well behind the existing face of the garage.
4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:  
Existing standard gas ventilation at the front extension.
5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?  
No earth or fill will be removed from site.

**CONTACT** Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

# Exhibit B1



## PROJECT INFORMATION

**LOCATION:**  
4 ELLINWOOD AVENUE  
WATERBURY, VT 05676

**PARCEL ID:**  
978-0004.V

**OWNER:**  
LILY ENGLE & DENNIS KRAMER  
4 ELLINWOOD AVE.  
WATERBURY, VT 05676

**PROJECT DESCRIPTION:**  
KITCHEN RENOVATION AND ADDITION

**JURISDICTION:**  
TOWN OF WATERBURY

**ZONING INFORMATION:**  
ZONING DISTRICT: YR  
LOT AREA: 29,621 SF (0.68 AC)  
LOT COVERAGE: 15.8%  
HEIGHT: 14'-2"

**OCCUPANCY/USE:**  
DWELLING/SINGLE FAMILY

**APPLICABLE CODES:**  
STATE OF VERMONT RBES  
WATERBURY ADOPTED CODES  
WATERBURY ORDINANCES

**PROJECT DATA:**  
ADDITION: 75 SF  
RENOVATION: 360 SF



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LILY ENGLE &  
DENNIS KRAMER

## ENGLE/KRAMER KITCHEN ADDITION & RENOVATION

### PROJECT NOTES:

THIS PLAN SET, COMBINED WITH THE CONTRACT, PROVIDES CONSTRUCTION DETAILS FOR THE BUILDING PROJECT. THE LEAD CARPENTER SHALL VERIFY THAT SITE CONDITIONS AND DIMENSIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE PROJECT ADVISOR/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CARPENTER OR SUB-CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

### DRAWING SYMBOL LEGEND:

	DETAIL CALLOUT		CABINET CALLOUT
	ELEVATION CALLOUT		DOOR NUMBER
	ELEVATION MARKER		MATERIAL SPECIFICATION
	PLAN NOTES		REVISION MARKER
	SECTION CALLOUT		REVISION MARKER
			WINDOW NUMBER

### LOCATION MAP:



### REVISIONS

NUMBER	DATE	DESCRIPTION

### SHEET INDEX

TITLE	SHEET
PROJECT SUMMARY	1
SITE PLAN	2
EXISTING CONDITIONS	3
EXISTING CONDITIONS	4
BASMENT PLAN	5
FLOOR PLAN	6
ROOF PLAN	7
EXTERIOR ELEVATION & PERSPECTIVE	8
EXTERIOR ELEVATIONS	9
EXTERIOR RENDERINGS	10

## PROJECT SUMMARY

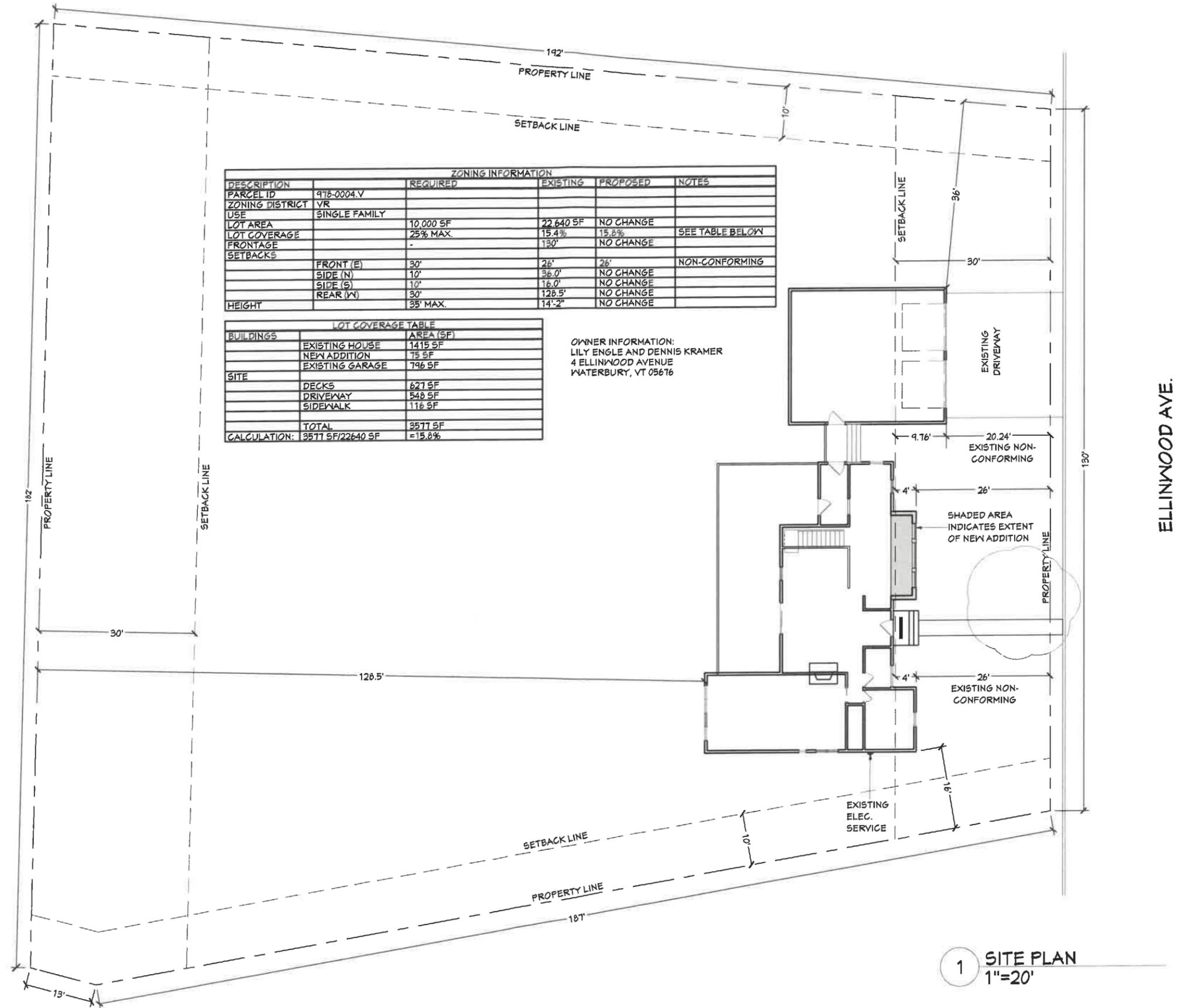
ISSUE DATE:

2/6/2023

SHEET #

1

# Exhibit B2



ZONING INFORMATION					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTES	
PARCEL ID	978-0004.V				
ZONING DISTRICT	VR				
USE	SINGLE FAMILY				
LOT AREA	10,000 SF	22,640 SF	NO CHANGE		
LOT COVERAGE	25% MAX.	15.4%	15.8%	SEE TABLE BELOW	
FRONTAGE	-	130'	NO CHANGE		
SETBACKS					
	FRONT (E)	30'	26'	26'	NON-CONFORMING
	SIDE (N)	10'	36.0'	NO CHANGE	
	SIDE (S)	10'	16.0'	NO CHANGE	
	REAR (W)	30'	128.5'	NO CHANGE	
HEIGHT	35' MAX.	14'-2"	NO CHANGE		

LOT COVERAGE TABLE	
BUILDINGS	AREA (SF)
EXISTING HOUSE	1415 SF
NEW ADDITION	75 SF
EXISTING GARAGE	796 SF
SITE	
DECKS	627 SF
DRIVEWAY	548 SF
SIDEWALK	116 SF
TOTAL	3571 SF
CALCULATION:	3571 SF/22640 SF = 15.8%

OWNER INFORMATION:  
LILY ENGLE AND DENNIS KRAMER  
4 ELLINWOOD AVENUE  
WATERBURY, VT 05676



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**LILY ENGLE & DENNIS KRAMER**

## SITE PLAN

ISSUE DATE:

2/6/2023

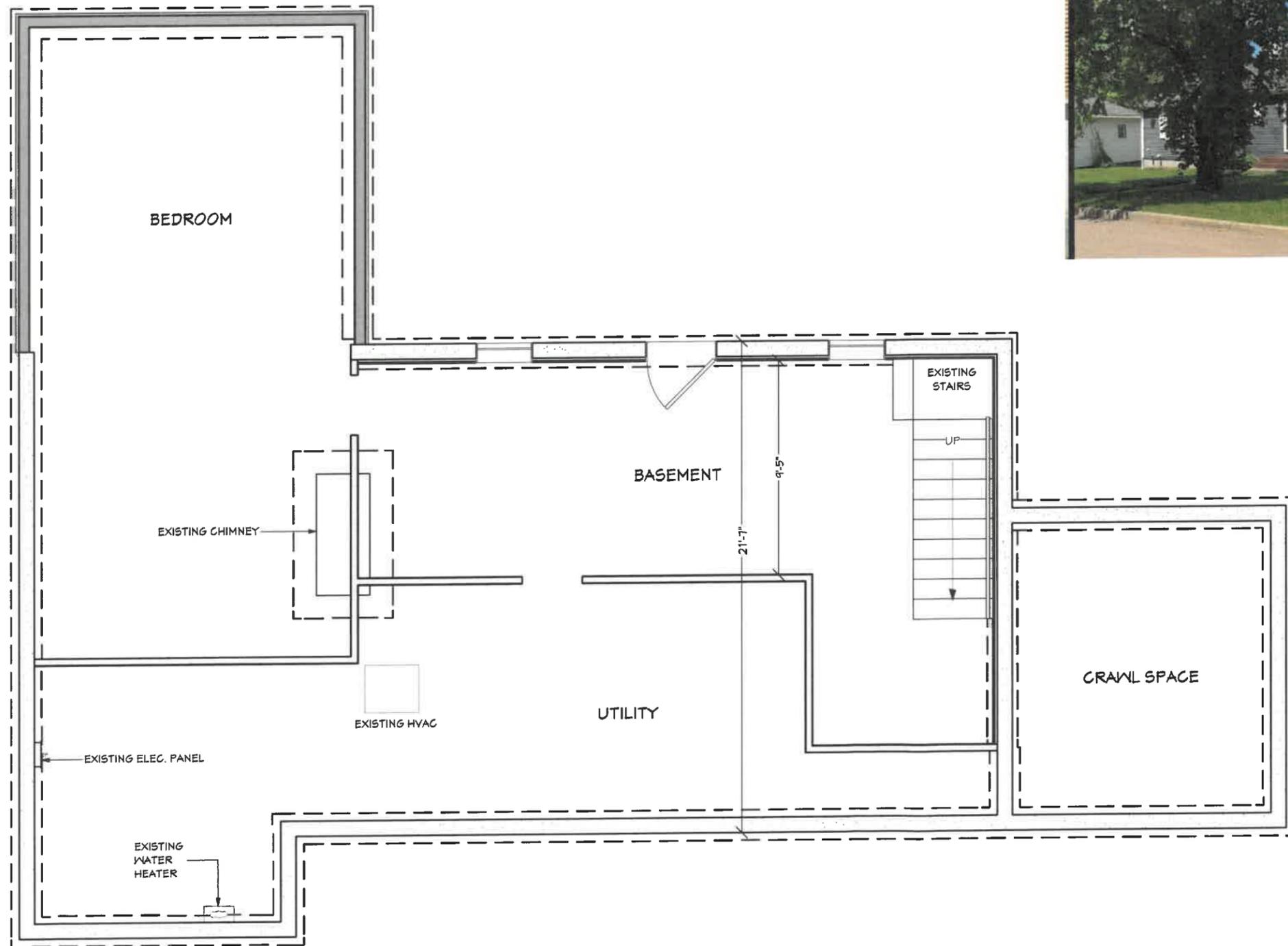
SHEET #

**2**

1 SITE PLAN  
1"=20'



# Exhibit B3



EXISTING STREET VIEW



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DENNIS KRAMER

EXISTING  
CONDITIONS

ISSUE DATE:

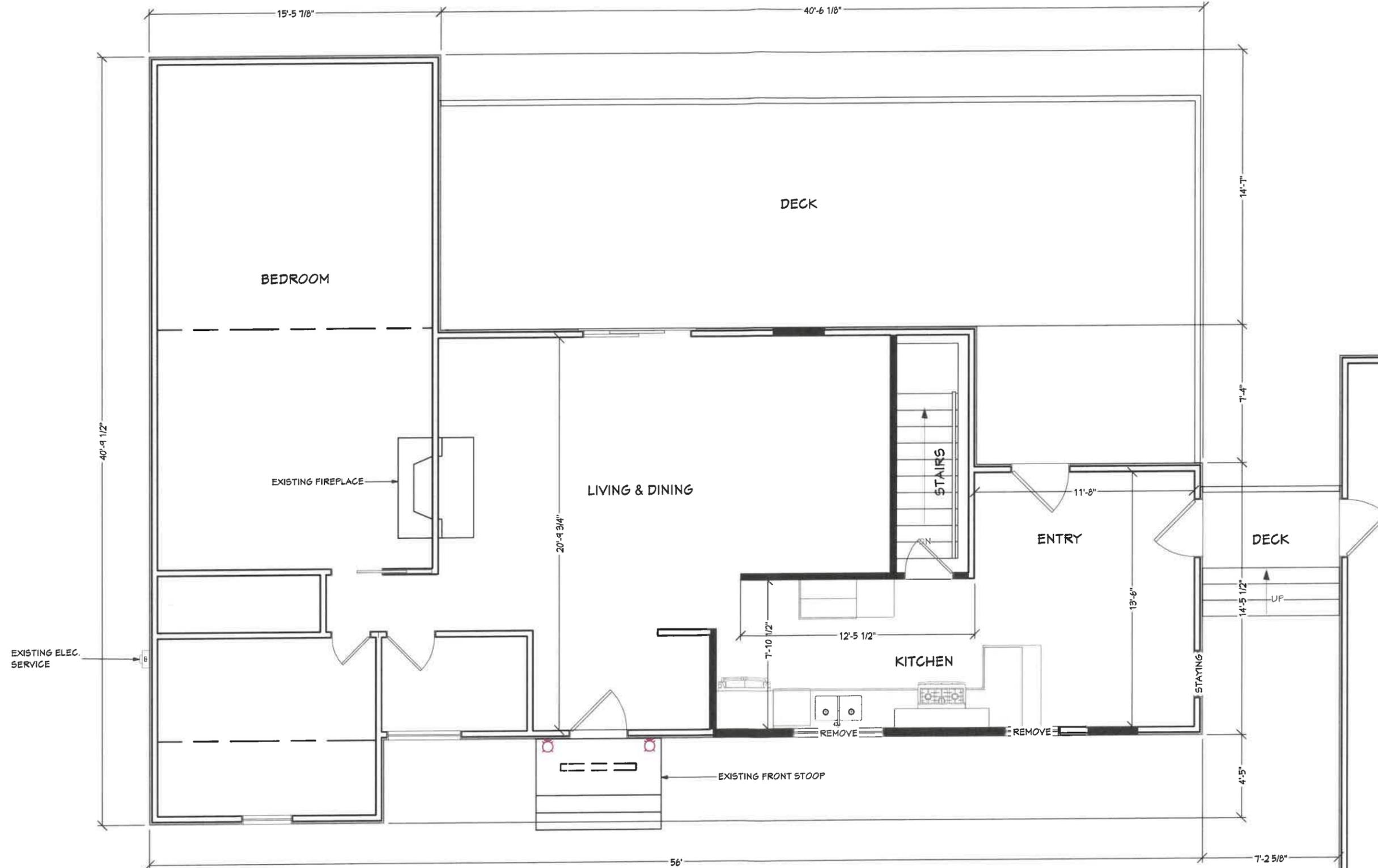
2/6/2023

SHEET #

3

1 EXISTING BASEMENT PLAN  
3/16 in = 1 ft

# Exhibit B4



1 EXISTING FIRST FLOOR PLAN  
3/16 in = 1 ft



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**EXISTING  
CONDITIONS**

ISSUE DATE:

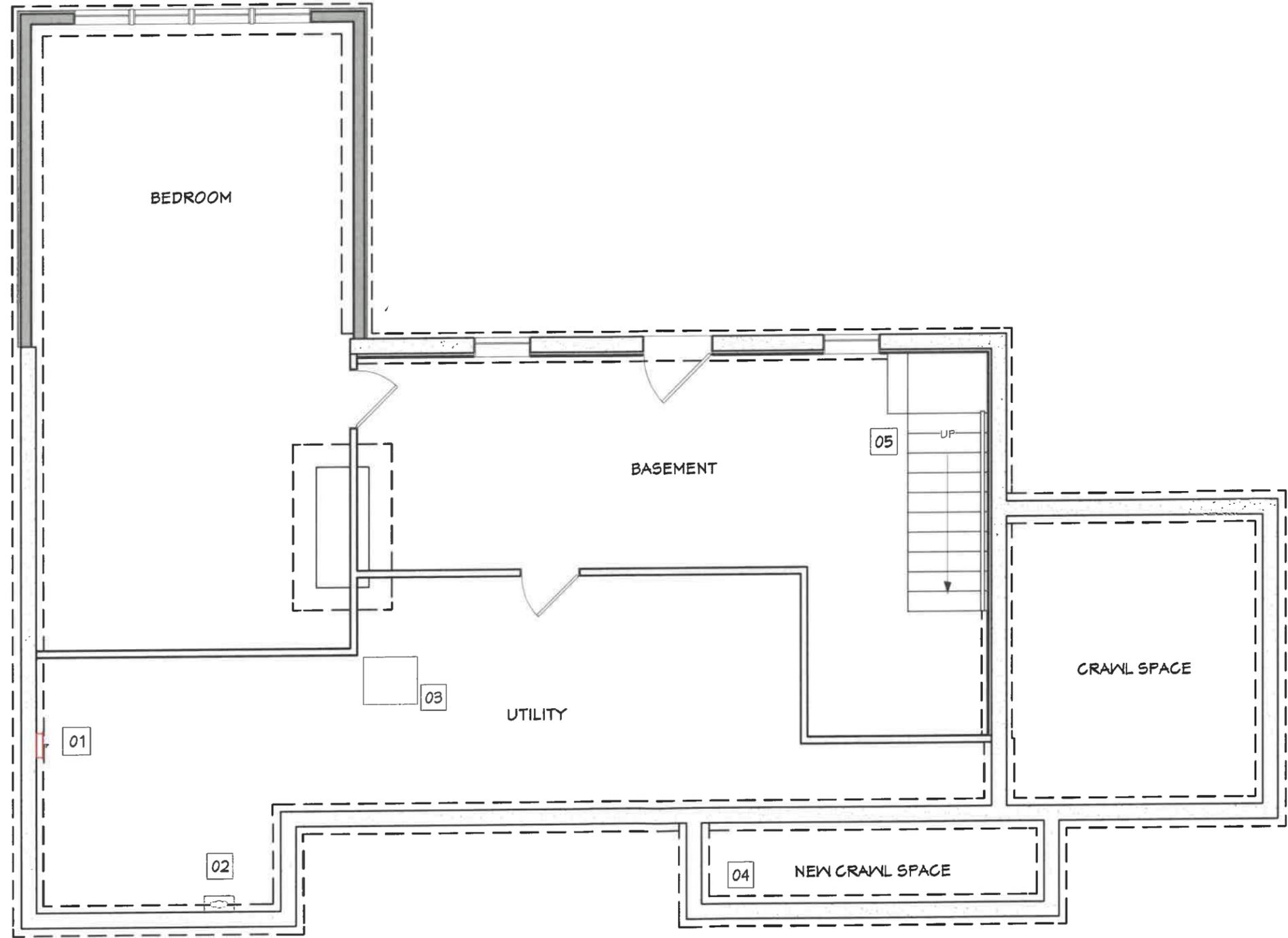
2/6/2023

SHEET #

**4**

# Exhibit B5

BASEMENT KEYNOTES	
01	EXISTING ELECTRICAL PANEL
02	EXISTING WATER HEATER
03	EXISTING FURNACE
04	NEW ADDITION FOOTING AND FOUNDATION
05	EXISTING STAIRS TO REMAIN



1 PROPOSED BASEMENT PLAN  
3/16 in = 1 ft



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## BASMENT PLAN

ISSUE DATE:

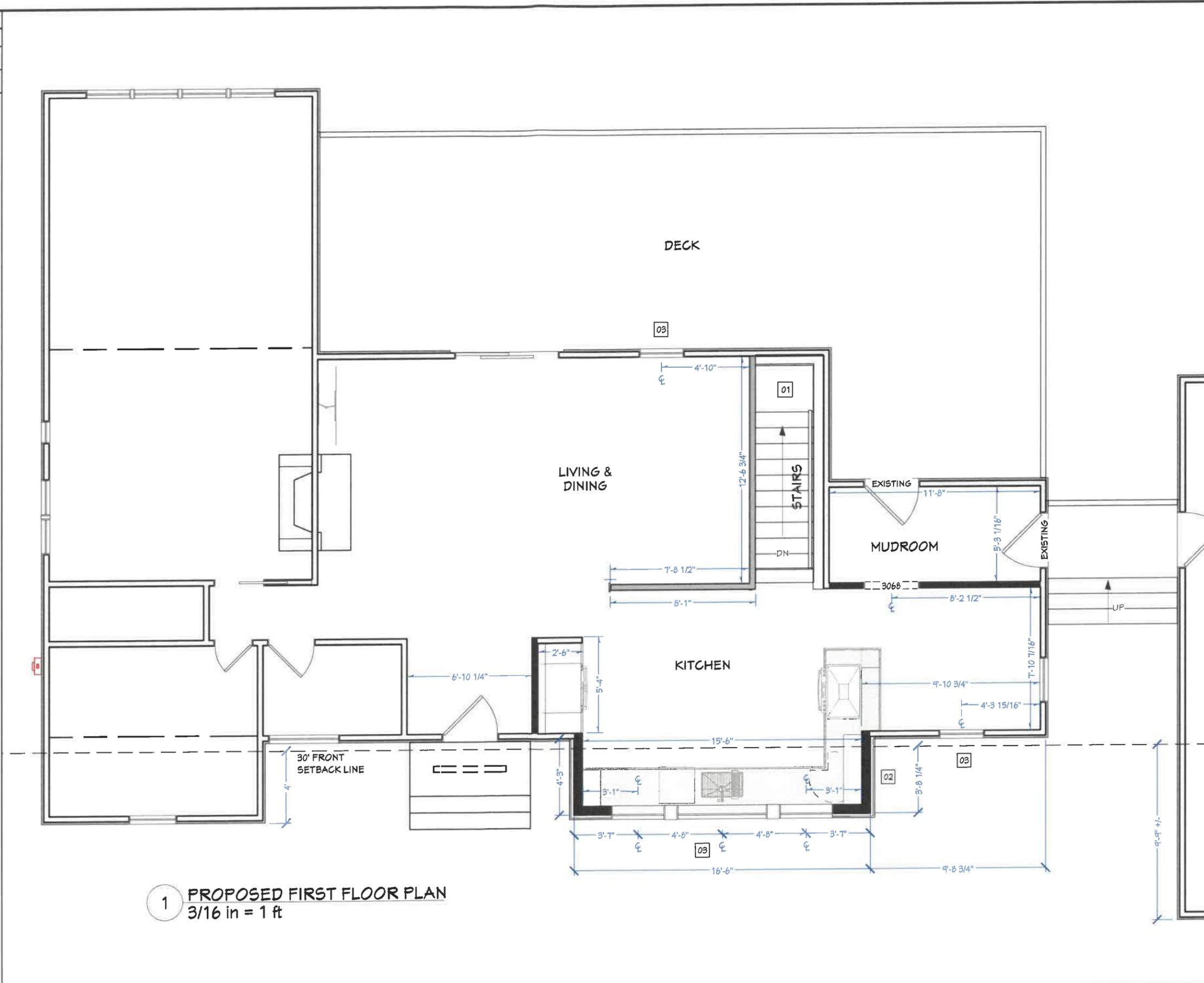
2/6/2023

SHEET #

**5**

# Exhibit B6

FIRST FLOOR KEYNOTES	
01	EXISTING STAIRS TO REMAIN
02	NEW ADDITION WALL & FLOOR ASSEMBLIES TO MEET 2020 VRBS REQUIREMENTS
03	NEW WINDOWS TO MEET 2020 VRBS REQUIREMENTS



1 PROPOSED FIRST FLOOR PLAN  
3/16 in = 1 ft



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DENNIS KRAMER**

## FLOOR PLAN

ISSUE DATE:

2/6/2023

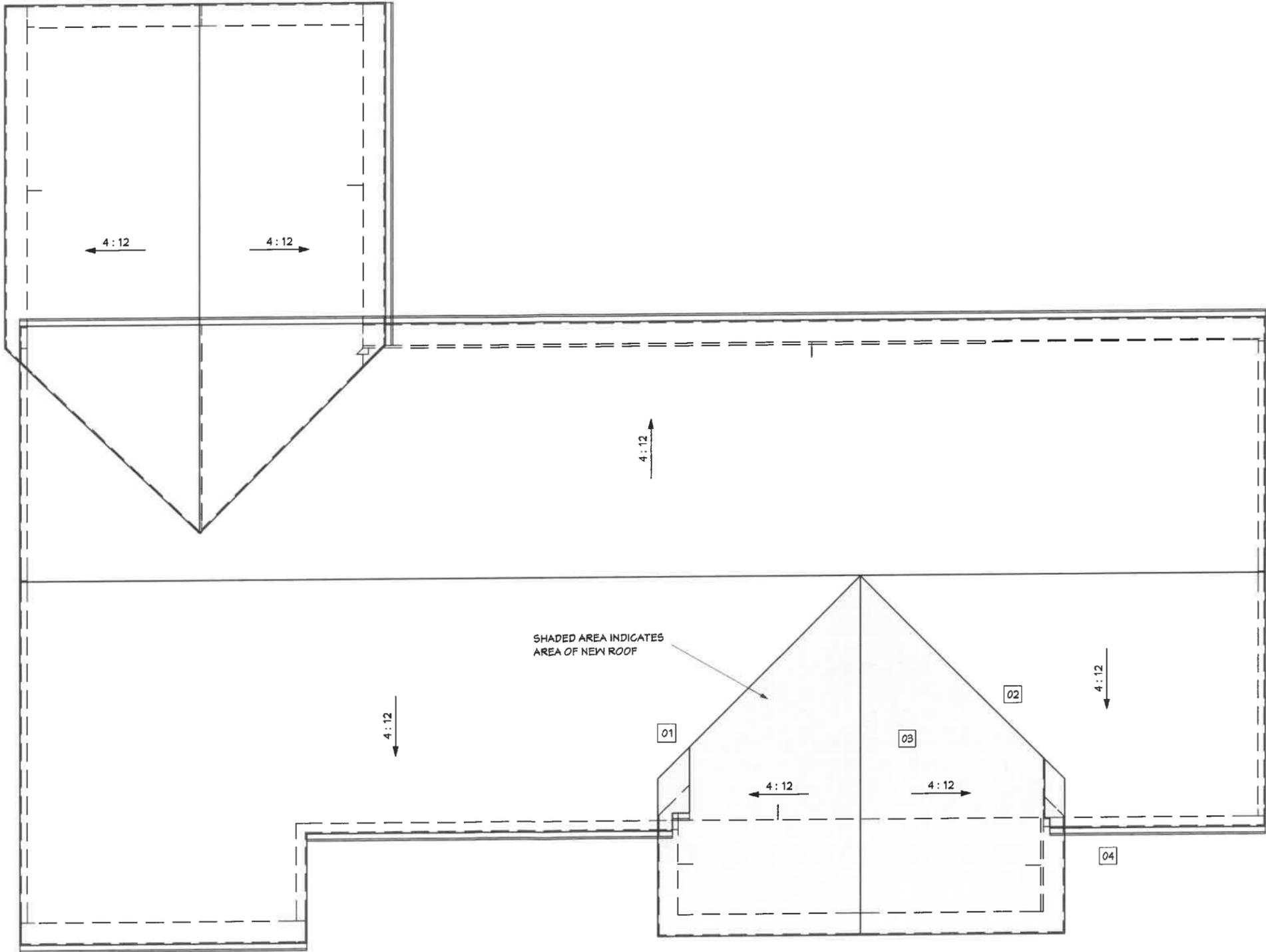
SHEET #

**6**

# Exhibit B7

**ROOF PLAN KEYNOTES**

- 01 NEW ROOF ASSEMBLY TO MEET 2020 VRBS REQUIREMENTS
- 02 NEW ROOF SHINGLES TO MATCH EXISTING
- 03 NEW ROOF PITCH TO MATCH EXISTING
- 04 REMOVE AND REPLACE EXISTING GUTTERS



1 **PROPOSED ROOF PLAN**  
3/16 in = 1 ft



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**ROOF PLAN**

ISSUE DATE:

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SHEET #

**7**

# Exhibit C1



1 FRONT ELEVATION (EAST)  
1/8 in = 1 ft



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**EXTERIOR &  
ELEVATION &  
PERSPECTIVE**

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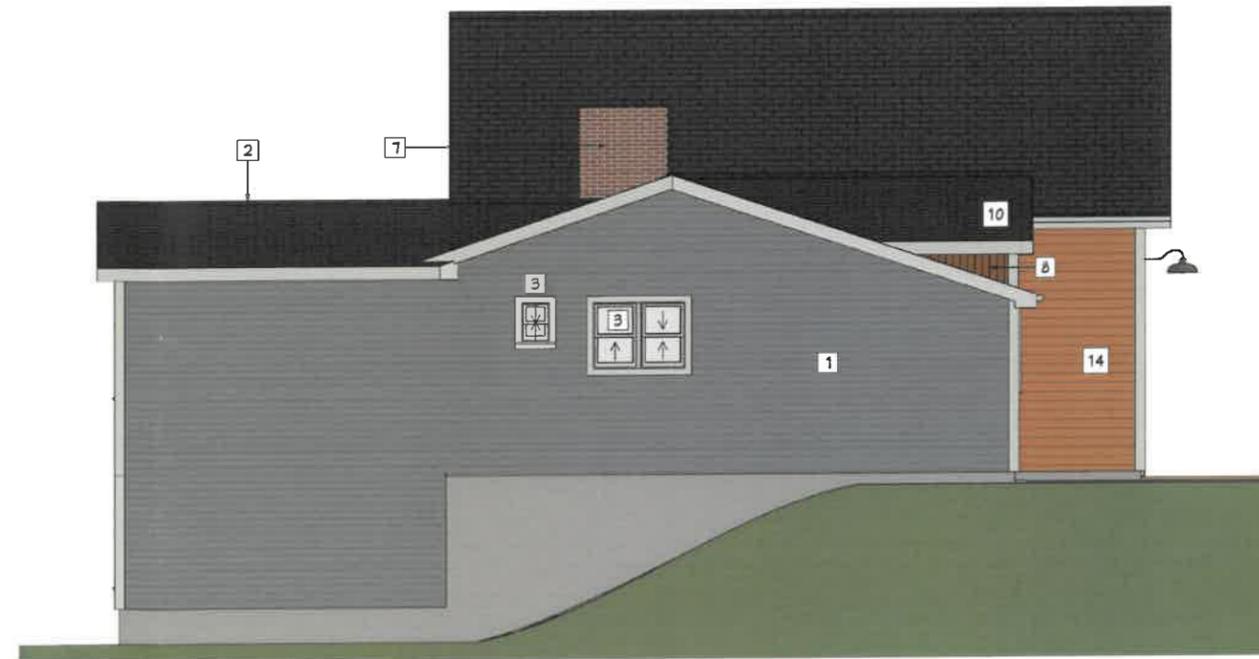
**8**

# Exhibit C2

EXTERIOR KEYNOTES	
1	EXISTING SIDING TO REMAIN
2	EXISTING ROOF, FASCIA, SOFFITS, GUTTERS AND DOWNSPOUTS TO REMAIN
3	EXISTING WINDOW, CASING AND SHUTTERS TO REMAIN
4	EXISTING SHUTTERS TO BE REMOVED
5	EXISTING MASONRY STOOP TO REMAIN
6	REMOVE EXISTING EXTERIOR LIGHT FIXTURES AND PROVIDE NEW FIXTURE
7	EXISTING FIREPLACE AND CHIMNEY TO REMAIN
8	NEW VERTICAL SIDING TBD
9	PROVIDE CORNER TRIM TO MATCH EXISTING
10	NEW ROOF AND FASCIA BOARD TO MATCH EXISTING
11	PROVIDE EXTERIOR CASING AND TRIM AT NEW WINDOWS
12	PROVIDE NEW WINDOW, CASING AND SHUTTERS
13	EXISTING DECK AND RAILING TO REMAIN
14	EXISTING GARAGE TO REMAIN. GARAGE IS NOT PART OF CONSTRUCTION.
15	EXISTING GUTTERS TO BE REMOVED AND REPLACED TO ACCOMMODATE NEW ADDITION
16	EXISTING PATIO DOOR TO REMAIN
17	EXISTING DOOR TO REMAIN



1 REAR ELEVATION (WEST)  
1/8 in = 1 ft



2 EXTERIOR ELEVATION (SOUTH)  
1/8 in = 1 ft



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EXTERIOR  
ELEVATIONS

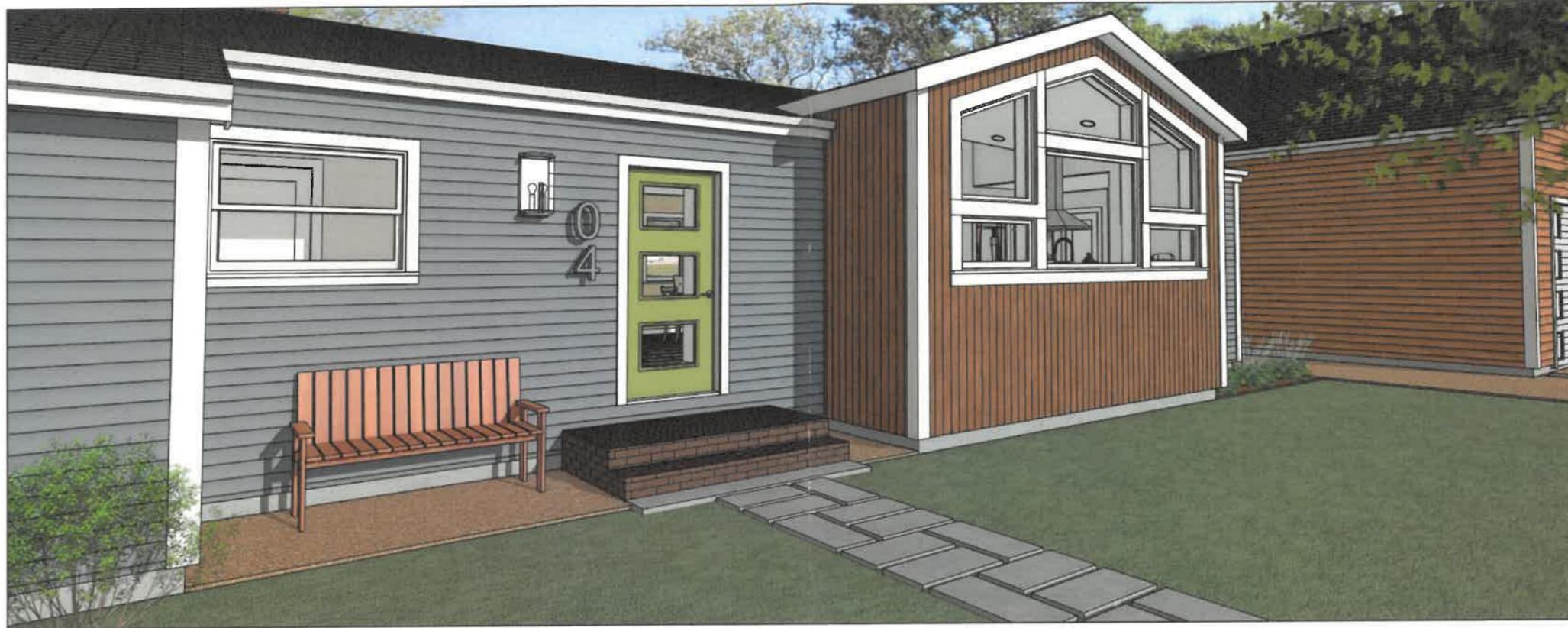
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# Exhibit C3



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## EXTERIOR RENDERINGS

ISSUE DATE:

2/6/2023

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# Exhibit D

## 4 Ellinwood Ave Zoning

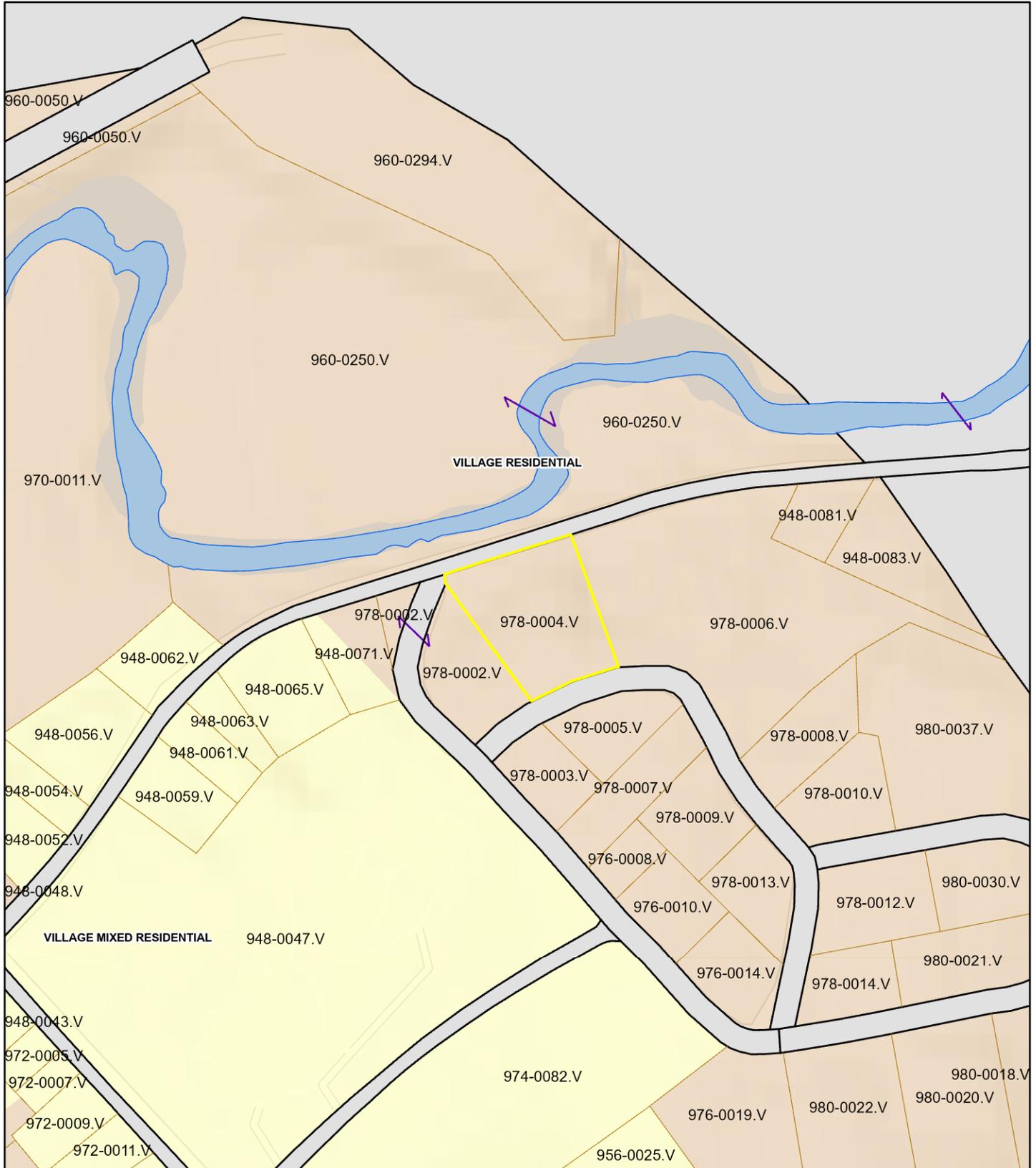
Waterbury, VT

1 inch = 188 Feet



www.cai-tech.com

February 21, 2023



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