

Date:	<u>02-18-2022</u>	Application #:	<u>011-22</u>
Fees Paid:	<u>290.-</u>	+ \$15 recording fee =	<u>315.-</u>
Parcel ID #:	<u>680-0326</u>		
Tax Map #:	<u>10-023.040</u>		

# TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

## CONTACT INFORMATION

### APPLICANT

Name: Kurt Kellett  
 Mailing Address: 2921 Waterbury-Stowe Rd.  
Waterbury Ctr, VT 05677  
 Home Phone : \_\_\_\_\_  
 Work/Cell Phone: 802-272-8282  
 Email: kurt@pinnaclevermont.com

### PROPERTY OWNER (if different from Applicant)

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Home Phone : \_\_\_\_\_  
 Work/Cell Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

## PROJECT DESCRIPTION

Physical location of project (E911 address): 91 Moose Run Ln  
 Lot size: 6.95 acres Zoning District: MDR & RHS (minor)  
 Existing Use: Developed Proposed Use: Barn  
 Brief description of project: \_\_\_\_\_  
Construction of 32' x 44' barn with 10' overhang. No living space.  
 \_\_\_\_\_  
 \_\_\_\_\_

Cost of project: \$ \_\_\_\_\_ Estimated start date: Spring 2022  
 Water system: \_\_\_\_\_ Waste water system: \_\_\_\_\_

### EXISTING

Square footage: n/a Height: \_\_\_\_\_  
 Number of bedrooms/baths: \_\_\_\_\_  
 # of parking spaces: \_\_\_\_\_  
 Setbacks: front: \_\_\_\_\_  
 sides: \_\_\_\_\_ / \_\_\_\_\_ rear: \_\_\_\_\_

### PROPOSED

Square footage: 1408 Height: 26 ft.  
 Number of bedrooms/bath: 0  
 # of parking spaces: 0  
 Setbacks: front: \_\_\_\_\_  
 sides: \_\_\_\_\_ / \_\_\_\_\_ rear: \_\_\_\_\_

## ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

[Additional State Permits may also be required]

## CHECK ALL THAT APPLY:

### NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other \_\_\_\_\_

### USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

### OTHER

- Subdivision (# of Lots: \_\_\_\_\_)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other \_\_\_\_\_

**SKETCH PLAN**

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

EXHIBIT A2

# SEE ATTACHED SITE PLAN

**SIGNATURES** The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

  
Applicant Signature

1-31-22  
date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
date

**CONTACT** Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

### OFFICE USE ONLY

Zoning District/Overlay: \_\_\_\_\_  
Review type:  Administrative  DRB Public Warning Required:  Yes  No  
DRB Referral Issued (effective 15-days later): \_\_\_\_\_  
DRB Mtg Date: \_\_\_\_\_ Decision Date: \_\_\_\_\_  
Date Permit issued (effective 16-days later): \_\_\_\_\_  
Final Plat due (for Subdivision only): \_\_\_\_\_  
Remarks & Conditions: \_\_\_\_\_  
\_\_\_\_\_  
Authorized signature: \_\_\_\_\_ Date: \_\_\_\_\_

REVIEW/APPLICATIONS:  
 Conditional Use  Waiver  
 Site Plan  
 Variance  
Subdivision:  
 Subdv.  BLA  PUD  
Overlay:  
 DDR  SFHA  RHS  CMP  
 Sign  
 Other \_\_\_\_\_  
 n/a

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

# TOWN OF WATERBURY SITE PLAN REVIEW INFORMATION

This Site Plan Review information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

## PROJECT DESCRIPTION

Brief description of project: Construction of 32' x 44' barn with 10' overhang. No living space.

## SITE PLAN REVIEW CRITERIA

Please utilize the check list to ensure your proposal addresses each relevant Site Plan Review criteria:

- Adequacy of traffic access
- Adequacy of circulation and parking
- Adequacy of landscaping and screening (including exterior lighting)
- Requirements for the Route 100 Zoning District
- Special considerations for projects bordering Route 2, Route 100, or Interstate 89

## SITE PLAN SUBMISSION REQUIREMENTS

Before an application for site plan review is considered complete, the applicant shall file a site plan, clearly drawn to the largest practical scale, showing the following:

- Location and dimensions of lot lines, names of adjacent landowners, all easements, utilities, and existing and proposed structures.
- All access to public streets or roads, parking and service areas, pedestrian walkways, curbs and stormwater drainage.
- Pedestrian and vehicular circulation, including parking lot layout, entrances to structures, signs, and lighting.
- Building elevations and footprints.
- Detailed site grading and landscaping, indicating existing and proposed trees, shrubs, and ground cover.
- Two copies of all plans.
- For plans larger than 11"x17" please submit a digital plan set in addition to the paper copy (pdf. file format).

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Municipal Website: www.waterburyvt.com

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

# TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

## PROJECT DESCRIPTION

Brief description of project: Construction of 32' x 44' barn with 10' overhang. No living space.

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

## DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

### DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-feet or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

### SUBMISSION REQUIREMENTS:

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

**RIDGELINE, HILLSIDE, STEEP SLOPE OVERLAY DISTRICT (RHS)**

REVIEW STANDARDS:

- For both Minor & Major Development Projects see Conditional Use Criteria
- For Major Development Projects:
  - Screening
  - Access
  - Placement of Structures
  - Exterior Lighting
  - Clearcutting and Pre-Development Site Preparation
  - Natural Resources
  - Building Design

SUBMISSION REQUIREMENTS :

- Minor Development Projects (1,200—1,499 FIE)
  - All information required under Site Plan Review (see Site Plan Review Application)
  - Completed Conditional Use Application
- Major Development Projects (1,500 & up FIE)
  - All information required under Site Plan Review (see Site Plan Review Application)
  - Completed Conditional Use Application
  - Grading Plan
  - Visibility Studies
  - Stormwater Drainage/Erosion Control Plan
  - Landscape Plan
  - Access Plan       Natural Features

**SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (SFHA)**

DESIGN STANDARDS:

- All development is reasonably safe from flooding       All fuel storage tanks are either elevated or floodproofed.
- All substantial improvements and new construction (including fuel storage tanks) meet the following criteria:
  - Designed, operated, maintained, modified and adequately anchored to prevent flotation, collapse, release, or lateral movement of the structure
  - Constructed with materials resistant to flood damage
  - Constructed by methods and practices that minimize flood damage
  - Constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding
  - All new subdivisions and other proposed developments that are greater than 50 lots or 5 acres, whichever is the lesser shall include within such proposal base flood elevation data. See Regulations for additional subdivision standards.
  - The fully enclosed areas below the lowest floor that are useable solely for parking of vehicles, building access, or storage in an area other than a basement are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
  - A non-residential, appurtenant structure of 500 sf or less need not be elevated to or above the base flood elevation in this area, provided the structure is placed on the building site so as to offer the minimum resistance to the flow of floodwaters
  - In Zones AE, A, and A1 – A30 where base flood elevations and/or floodway limits have not been determined, new construction and substantial improvement shall not be permitted unless it is demonstrates additional standards (see Regulations)
  - All new construction and substantial improvements of residential structures within Zones A1-30, and AE must have the lowest floor of all residential structures (including basement) elevated to at least one foot above the base flood level.
  - All manufactured homes are installed using methods and practices which minimize flood damage. Manufactured homes must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above base flood elevation, and they must be anchored to an adequately anchored foundation to resist flotation collapse, or lateral movement.
  - All new construction and substantial improvements of non-residential structures within Zones A1-30, and AE shall:
    - Have the lowest floor (including basement) elevated to at least two feet above the base flood level; or
    - Be designed so that below the base flood level the structure is water tight with walls substantially impermeable to the passage of water with structural components having the capability of resisting hydrostatic and hydrodynamic loads and

effects of buoyancy to a point at least two feet above the base flood level.

- Where a non-residential structure is intended to be made watertight below the base flood level a registered professional engineer or architect shall develop and/or review structural design
- professional engineer or architect shall develop and/or review structural design
- \_\_\_ Adequate drainage paths shall be required around structures on slopes to guide floodwaters around and away from proposed structures.
- \_\_\_ The flood carrying and sediment transport capacity within the altered or relocated portion of any watercourse shall be maintained, and any alteration or relocation shall not result in any decrease of stream stability.
- \_\_\_ Bridge and culverts, which by their nature must be placed in or over the stream, must obtain a stream alteration permit from the Agency of Natural Resources, if required.

**SUBMISSION REQUIREMENTS:**

- Plans in triplicate, drawn to scale, showing the location, dimensions, contours, and elevation of the lot; the size and location on the site of existing or proposed structures, fill or storage of materials; the location and elevations of streets, water supply, and sanitary facilities; and the relation of the above to the location of the channel, floodway, and base flood elevation
- Specifications for building construction and materials, floodproofing, mining, dredging, filling, grading, paving, excavation, or drilling, channel improvement, storage of materials, water supply, and sanitary facilities
- Base flood elevation data for all subdivisions, new construction, and substantial improvements
- The elevation, in relation to mean sea level, of the lowest floor, including basement, of all new construction or substantial improvement of structures
- Where floodproofing is used in lieu of elevation, the elevation, in relation to mean sea level, to which any structure or substantial improvement will be floodproofed
- Where an application requires Board review the application shall include certification by a registered professional engineer or architect demonstrating that the proposed development will not increase base flood elevations more than 0.25 foot
- Certification by a registered professional engineer or architect demonstrating compliance with the elevation requirements
- A description of the extent to which any watercourse will be altered or relocated as a result of the proposed development
- A Vermont Agency of Natural Resources Project Review Sheet for the proposal
- Proposed floodproofing must be supported by a FEMA Floodproofing Certificate

**CERTIFICATE OF COMPLETION:** Upon completing the project the Applicant must apply for and receive a Certificate of Completion to ensure the project conforms to the Special Flood Hazard Area Regulations. See Certificate of Completion Application for additional information.

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Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

**TOWN OF WATERBURY**  
**CONDITIONAL USE INFORMATION**

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

**PROJECT DESCRIPTION**

Brief description of project: Construction of 32' x 44' barn with 10' overhang. No living space.

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**CONDITIONAL USE CRITERIA**

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):

[See attached response letter](#)

2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:

[See attached response letter](#)

3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:

[See attached response letter](#)

4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:

[See attached response letter](#)

5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

[See attached response letter](#)

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Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676  
Municipal Website: [www.waterburyvt.com](http://www.waterburyvt.com)

**Kellett Proposed Barn Construction, Moose Run Lane  
Response to Conditional Use Criteria, Waterbury Zoning Regulations**

(1) The proposed use will not adversely affect the capacity of existing or planned community facilities to accommodate it. For community facilities, the proposed use:

- A. will not cause the level of service on roads and highways to fall below a reasonable standard – **The addition of one accessory structure in this rural/residential area of town will not generate traffic volumes that would cause an undue adverse impact to existing infrastructure.**
- B. will not cause an unmanageable burden on municipal water or sewer systems – **not applicable as connection to municipal systems are not proposed.**
- C. will not lead to such additional school enrollments that existing and planned school system capacity is exceeded – **the one proposed accessory structure will not result in a number of students which will exceed the school system capacity.**
- D. will not cause an unmanageable burden on fire protection services – **the addition of one new structure in this previously developed area will not cause an unmanageable burden on fire protection services.**

(2) The proposed use will not adversely impact the character of the area affected. Specifically, the proposed use:

- A. will not result in undue water pollution, undue adverse impacts to downstream properties, and will not cause unreasonable soil erosion or reduction in the capacity of the land to hold water so that a dangerous or unhealthy condition may result – **the addition of this structure will not result in the above adverse conditions. Erosion prevention and sedimentation control measures will be utilized during the development of the lot. Construction will adhere to the standards set forth in the Vermont Low-Risk Handbook.**
- B. will not result in undue noise, light, or air pollution, including offensive odors, dust, smoke, or noxious gasses – **the addition of one accessory structure will not result in the above adverse conditions. Light and noise conditions will be typical of standard residential use.**
- C. will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, or rare and irreplaceable natural areas – **We are aware of no historic sites or rare or irreplaceable natural areas on the parcel. The State of Vermont does not identify any rare, threatened, or endangered species, or deer wintering areas on the parcel.**
- D. will not be otherwise inconsistent with existing uses in the immediate area – **The project as proposed is a continuation of existing low density residential development in the direct vicinity.**
- E. will not cause danger of fire, explosion, or electrical hazard, or in any other way jeopardize the health and safety of the area – **the addition of an accessory structure will not cause the above-listed dangers.**

(3) The proposed use will not violate any municipal bylaws and ordinances in effect – **accessory structures are a permitted use within the MDR District, and are a conditional use within the Ridgelines/Hillsides/Steep slope (RHS) Overlay District.**

(4) The proposed use will comply with the specific lot area, setbacks, and lot coverage requirements set forth in this Bylaw – **minimum lot size, setback, and lot coverage requirements are met.**

(5) For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Applications Submittals? – **N/A, this is not an earth removal operation.**



ZONING DISTRICT INFORMATION  
 MIN SETBACK/FRONT  
 (FROM CENTERLINE OF ROAD - 60'  
 MIN SIDE SETBACK - 50'  
 MIN REAR SETBACK - 50'

PLANS BASED ON DRAWINGS BY CHENETTE ASSOCIATES,  
 P.C. FOR FELIX CALLAN TITLED "OFF MOOSE RUN LANE"  
 SHEETS C-1 TO C-7 DATED 2013 & 2014

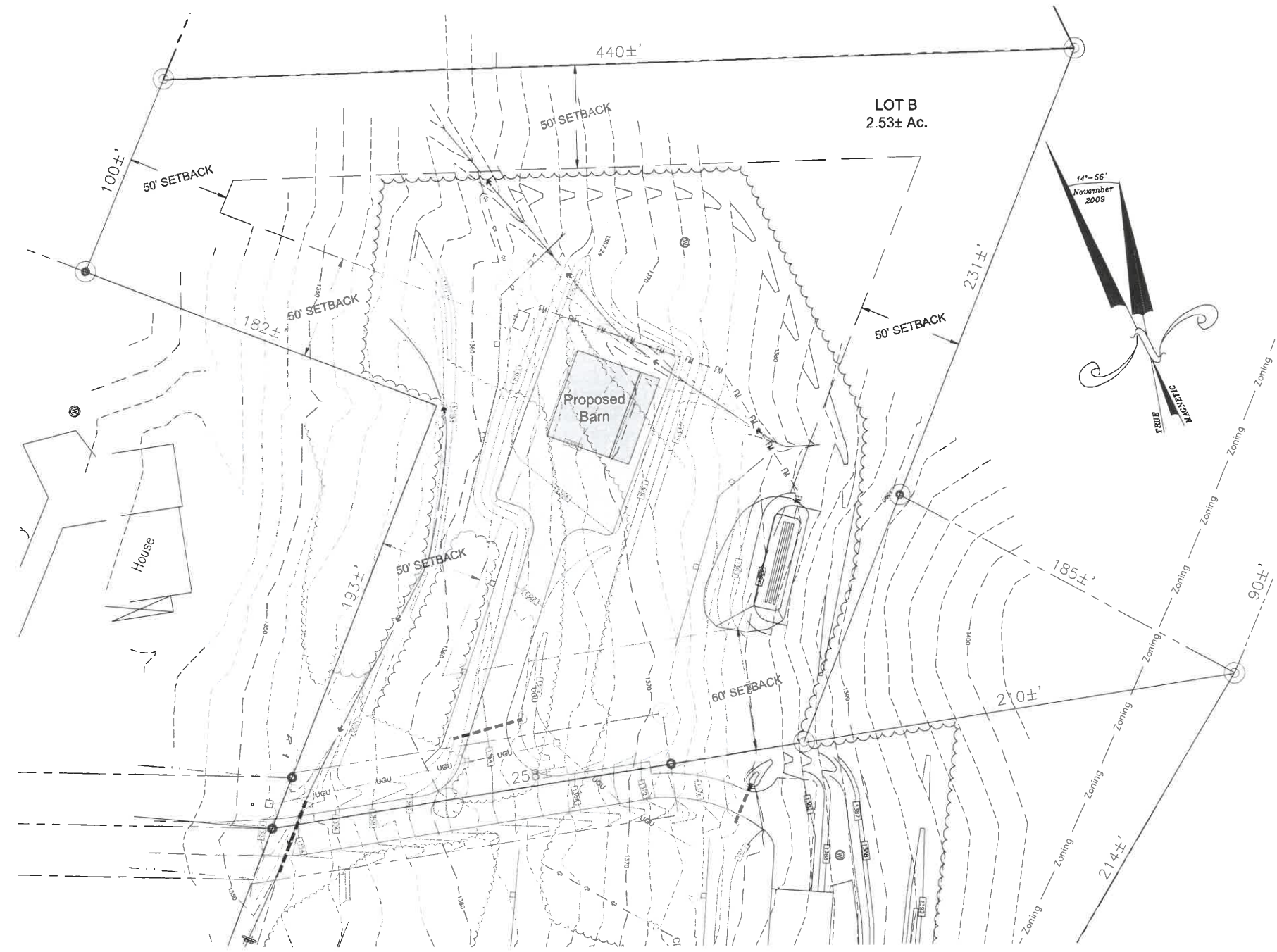
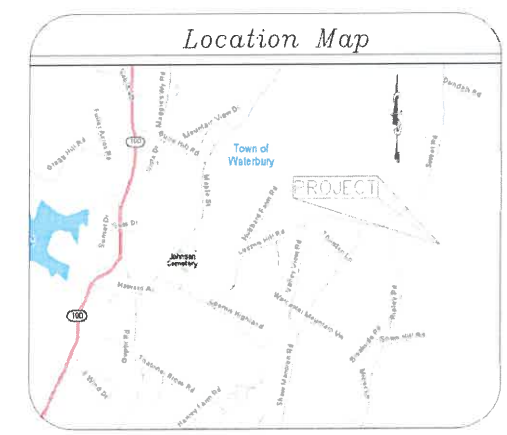
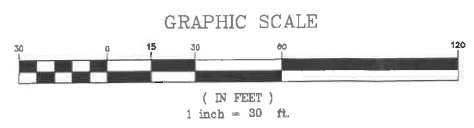


EXHIBIT **C**



Project No. 98153L  
 Owner of Record: Kurt & Ashley Kellett  
 Acreage: 2.53± Acres  
 SPAN: 696-221-12307  
 Parcel No.: 680-0326.  
 Book/Page: 366/315  
 Zoning District: MDR

- LEGEND**
- ⊙ Iron rod set with cap marked "VAN DERSTINE 719"
  - ⊙ Iron rod found
  - ⊙ Stone pile found
  - ⊙ Calculated point
  - Property line
  - - - Right-of-Way line
  - - - Adjoiner line
  - - - Tie line
  - - - Septic easement
  - - - Building envelope
  - - - 1500' elevation contour line
  - - - Zoning
  - X - X - Barb wire fence
  - - - Stream
  - - - Woods road / trail
  - ⊙ DRILLED WELL
  - - - EXISTING 2-FOOT CONTOUR
  - - - EXISTING 10' CONTOUR
  - - - EDGE OF WOODS/BRUSH
  - - - FINISH GRADE CONTOUR
  - + + + SPOT ELEVATION
  - - - LIMIT OF PROPOSED CLEARING
  - - - TOP OF BROOK BANK
  - - - EDGE OF GRAVEL
- 118/599 Book 118 Page 599 of the Land Records



Topography by Total Station  
 Contour Interval 2'  
 Approximate USGS Datum  
 Based on Hand Held GPS Unit

THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION ACTIVITIES, COMPONENT LOCATIONS, SPECIFICATIONS, AND DETAILS PRIOR TO COMMENCEMENT OF SITE WORK AND SHALL NOTIFY MCCAIN CONSULTING OF ANY ISSUES OR DISCREPANCIES THAT ARISE FROM THAT REVIEW.

THIS IS NOT A SURVEY. THIS PLAN DOES NOT MEET THE REQUIREMENTS OF 27 VSA SEC. 1403 FOR THE FILING OF SURVEY PLATS.

FOR TOWN PERMITTING

ENGINEER:  
 GEORGE N. MCCAIN Jr., P.E.  
 VT P.E. 02506

**SITE PLAN**  
**KURT & ASHLEY KELLETT**  
 DEVELOPMENT IN RHS-MINOR  
 MOOSE RUN LANE WATERBURY, VT

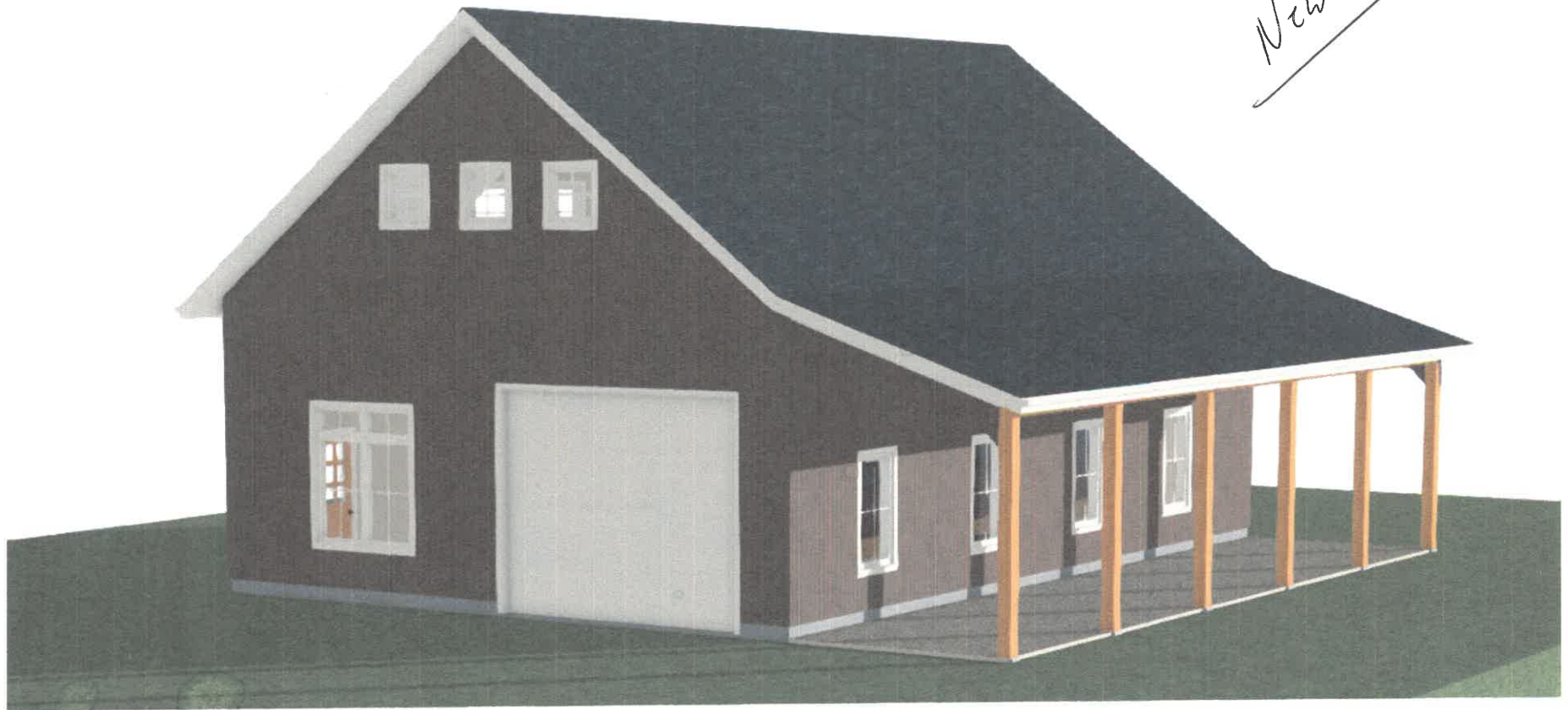
SCALE: 1" = 30'  
 DESIGNED BY: PROJECT #98153L  
 DRAWN BY:  
 CHECKED BY:

DATE: JANUARY 7, 2022 SHEET 1 OF 1

**MCCAIN CONSULTING, INC.**  
 93 SOUTH MAIN STREET  
 WATERBURY, VERMONT 05676

Revised  
1-12-22

New Draft



KKellettBarn-1117-011322

DESIGN BY:  
Kim Brown  
1/13/2022

PROPOSED KURT KELLETT BARN  
SWEET ROAD  
WATERBURY CENTER VERMONT

**Kim Brown Projects**  
Kim Brown 802-272-7540 Cell  
244 Howard Ave. Waterbury Center, Vermont  
kimbrown@woodsskier.com

ISOMETRIC VIEW #1  
SCALE: NONE

1  
3D.1



KKellettBarn-1117-011322

DESIGN BY:  
Kim Brown

1/13/2022

PROPOSED KURT KELLETT BARN  
SWEET ROAD  
WATERBURY CENTER VERMONT

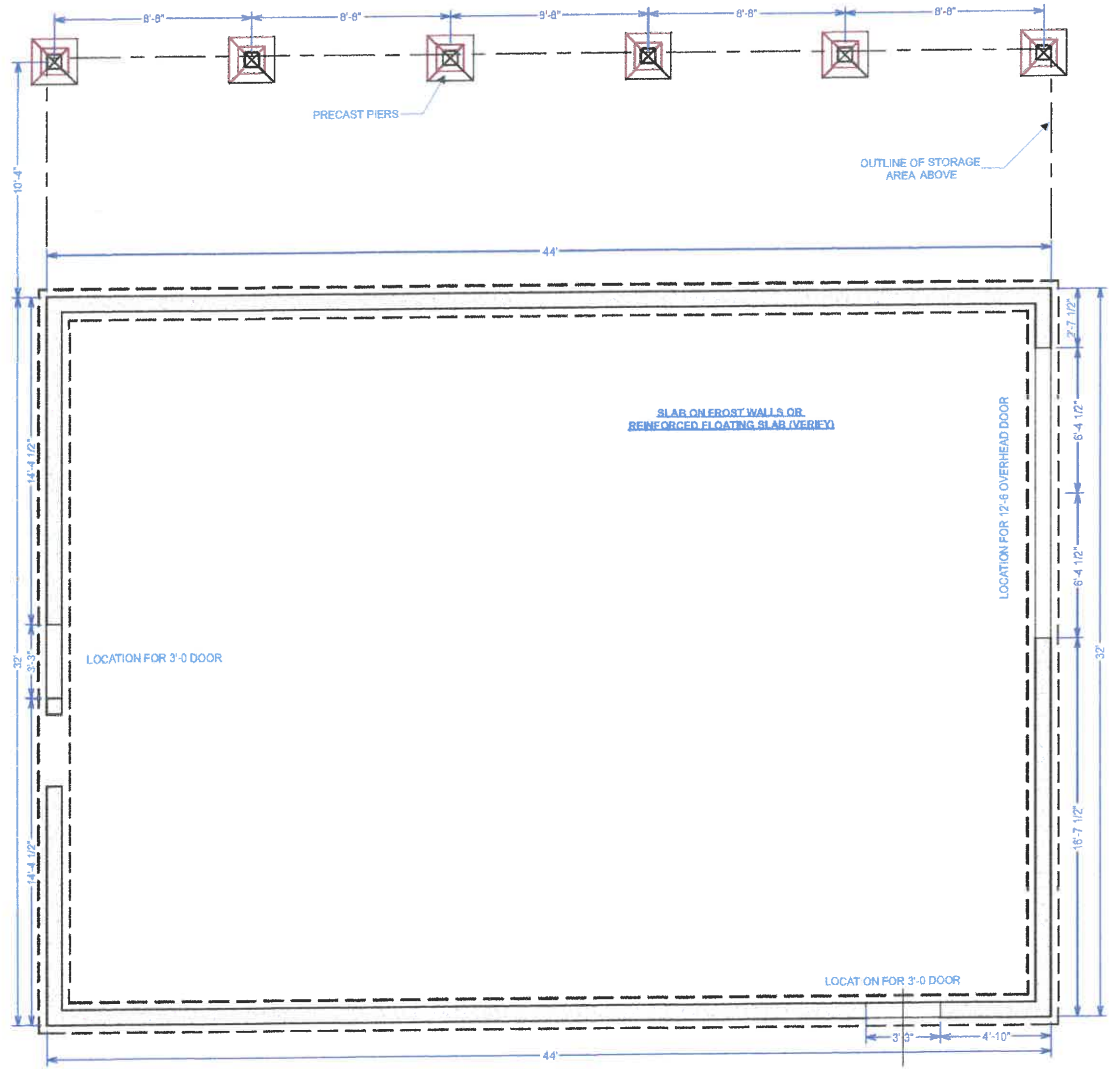
**Kim Brown Projects**  
Kim Brown 802-272-7540 Cell  
244 Howard Ave. Waterbury Center, Vermont  
kimbrown@woodsskier.com

ISOMETRIC VIEW #2

SCALE: NONE

2

3D.2



FOUNDATION PLAN

SCALE - 3/16" = 1'-0"

KKellettBarn-1117-011322

DESIGN BY:  
Kim Brown

1/13/2022

**PROPOSED KURT KELLETT BARN**  
SWEET ROAD  
WATERBURY CENTER VERMONT

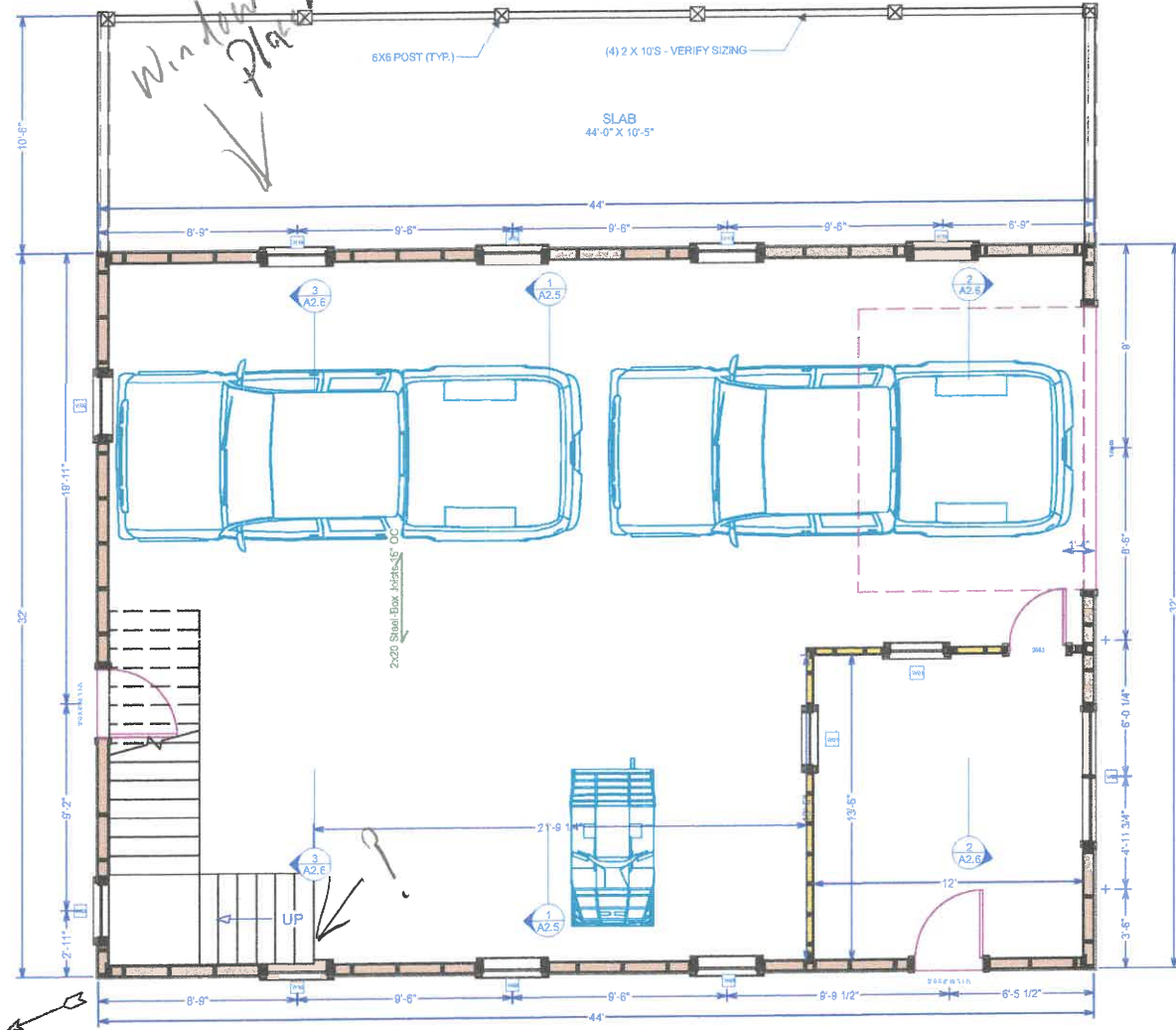
**Kim Brown Projects**  
Kim Brown 802-272-7540 Cell  
244 Howard Ave. Waterbury Center, Vermont  
kimbrown@woodsskier.com

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

3

FN1.1



1ST FLOOR PLAN  
SCALE - 3/16" = 1'-0"

KKellettBarn-1117-011322

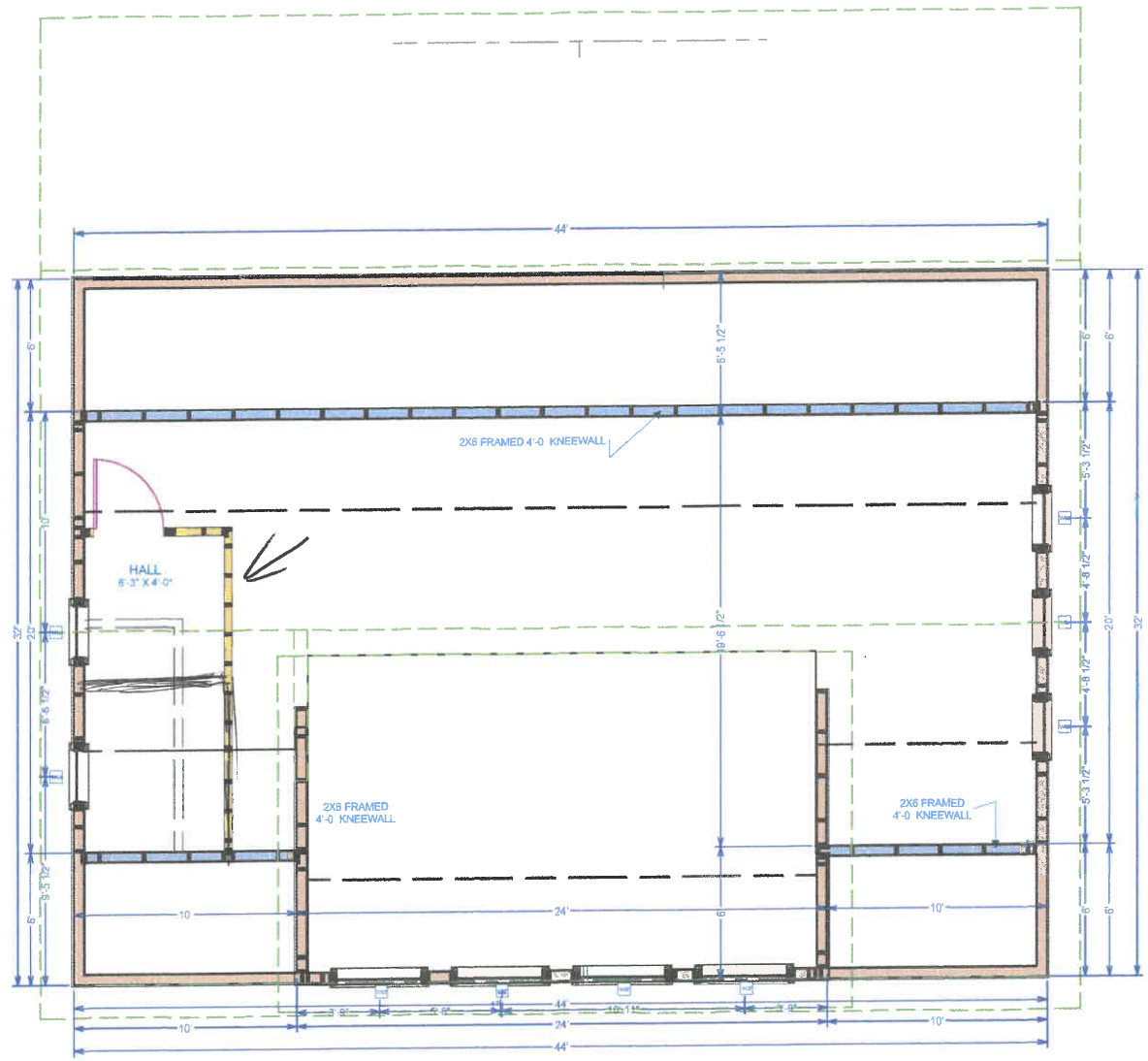
DESIGN BY:  
Kim Brown  
1/13/2022

PROPOSED KURT KELLETT BARN  
SWEET ROAD  
WATERBURY CENTER VERMONT

**Kim Brown Projects**  
Kim Brown 802-272-7540 Cell  
244 Howard Ave. Waterbury Center, Vermont  
kimbrown@woodsskier.com

1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

4  
A1.1



2ND FLOOR PLAN  
 SCALE - 3/16" = 1'-0"

KKellettBarn-1117-011322

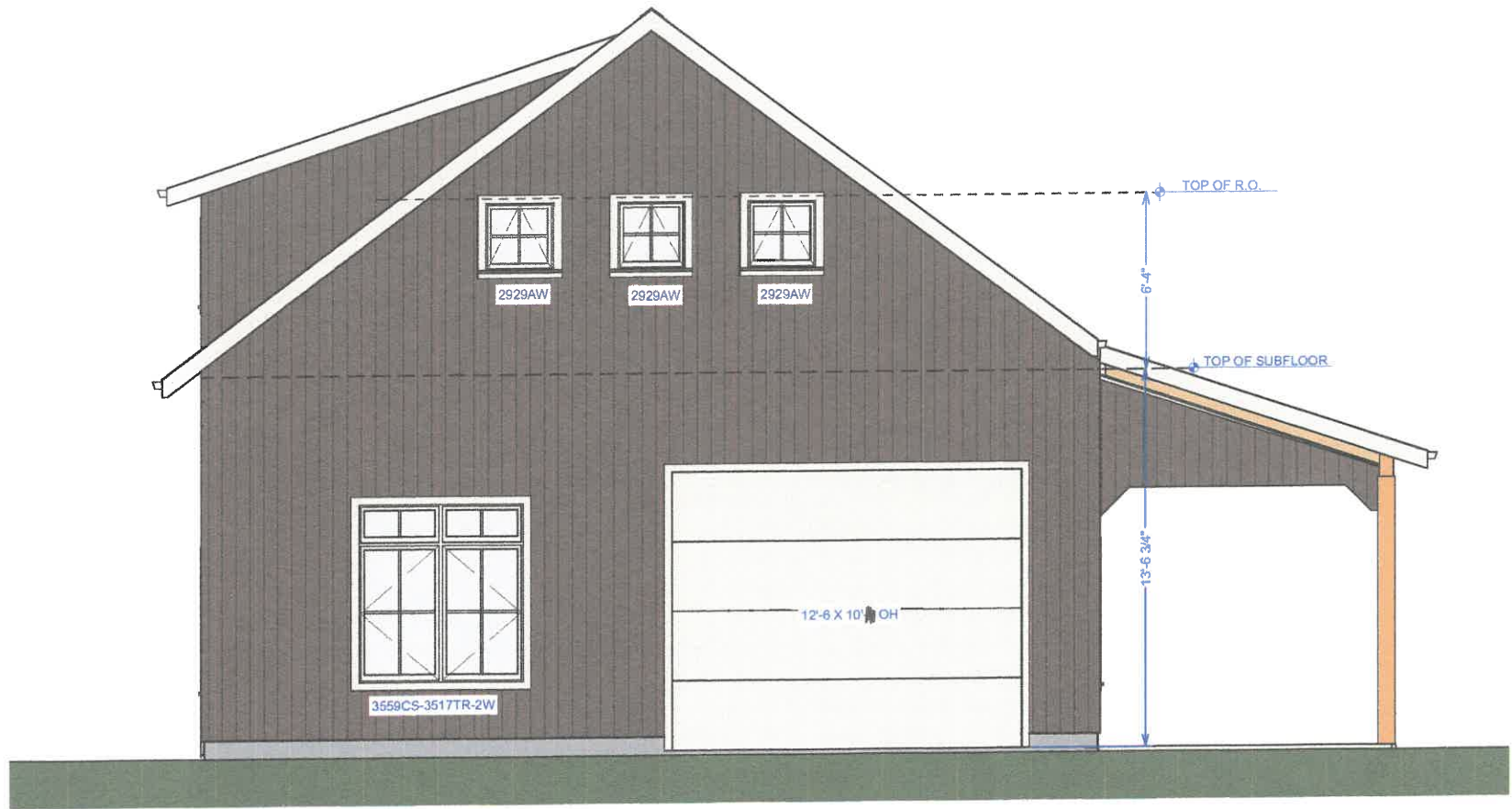
DESIGN BY:  
 Kim Brown  
 1/13/2022

**PROPOSED KURT KELLETT BARN  
 SWEET ROAD  
 WATERBURY CENTER VERMONT**

**Kim Brown Projects**  
 Kim Brown 802-272-7540 Cell  
 244 Howard Ave. Waterbury Center, Vermont  
 kimbrown@woodsskier.com

2ND FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

**5**  
**A1.2**



○ FRONT ELEVATION  
SCALE - 1/4" = 1'-0"

KKellettBarn-1117-011322

DESIGN BY:  
Kim Brown  
1/13/2022


PROPOSED KURT KELLETT BARN  
SWEET ROAD  
WATERBURY CENTER VERMONT

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kimbrown@woodsskier.com

FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

6  
A2.1




 REAR ELEVATION  
 SCALE - 1/4" = 1'-0"

KKellettBarn-1117-011322

DESIGN BY:  
 Kim Brown  
 1/13/2022

**PROPOSED KURT KELLETT BARN**  
**SWEET ROAD**  
**WATERBURY CENTER VERMONT**


**Kim Brown Projects**  
 Kim Brown 802-272-7540 Cell  
 244 Howard Ave. Waterbury Center, Vermont  
 kimbrown@woodsskier.com

REAR ELEVATION  
 SCALE: 1/4" = 1'-0"

7  
**A2.2**






 RIGHT ELEVATION  
 SCALE - 1/4" = 1'-0"

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1/13/2022


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RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

8  
A2.3




**LEFT ELEVATION**  
 SCALE - 1/4" = 1'-0"

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DESIGN BY:  
Kim Brown  
1/13/2022

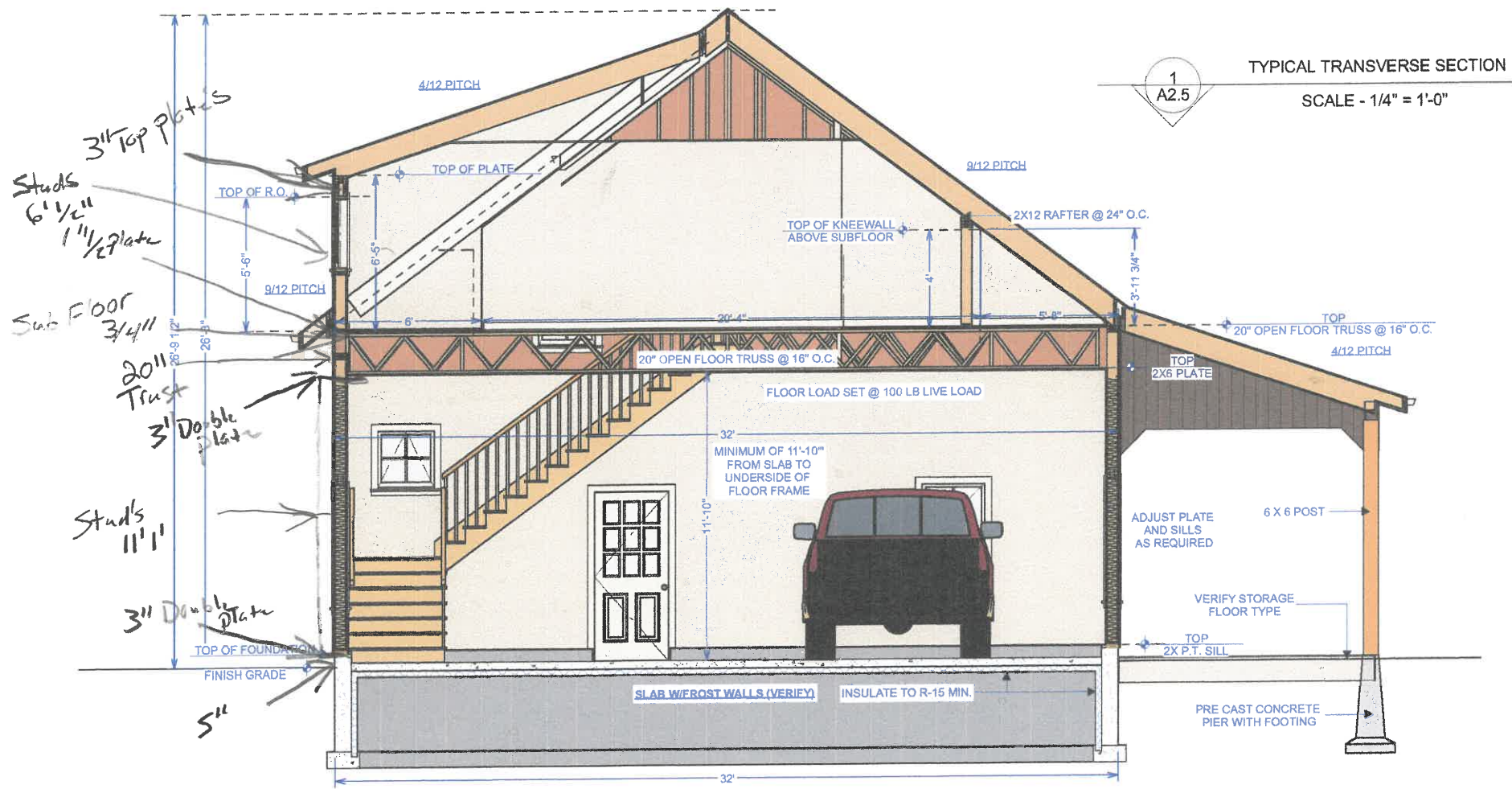
**PROPOSED KURT KELLETT BARN**  
**SWEET ROAD**  
**WATERBURY CENTER VERMONT**

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LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"

**9**  
**A2.4**

20'-1 3/4" From Concrete Floor to TOP plate of Dormer



1  
A2.5

TYPICAL TRANSVERSE SECTION

SCALE - 1/4" = 1'-0"

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1/13/2022

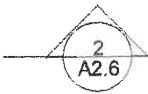
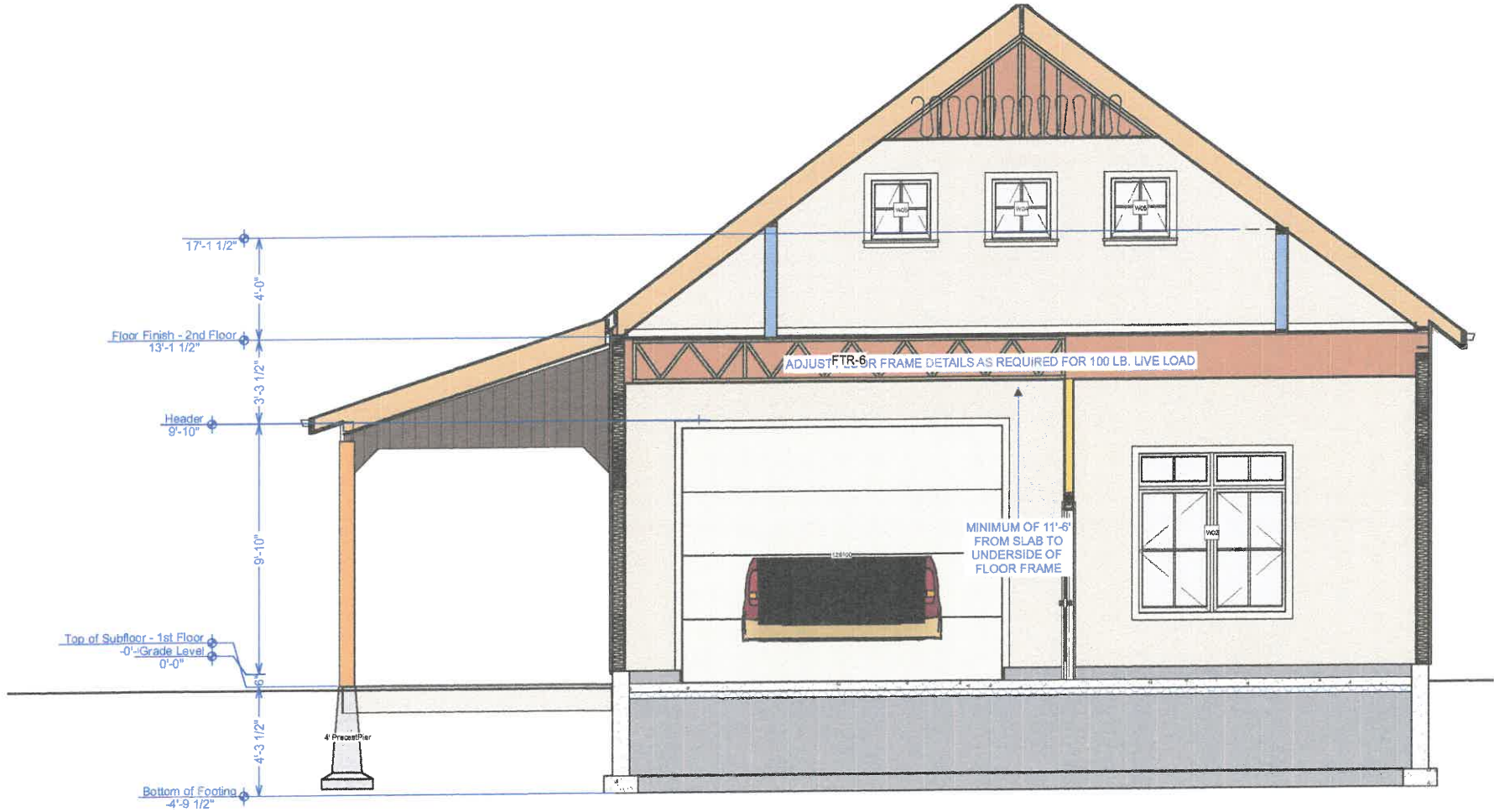
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SECTION 1  
SCALE: 1/4" = 1'-0"

10  
A2.5

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TRANSVERSE SECTION @ ENTRY GABLE

SCALE - 1/4" = 1'-0"

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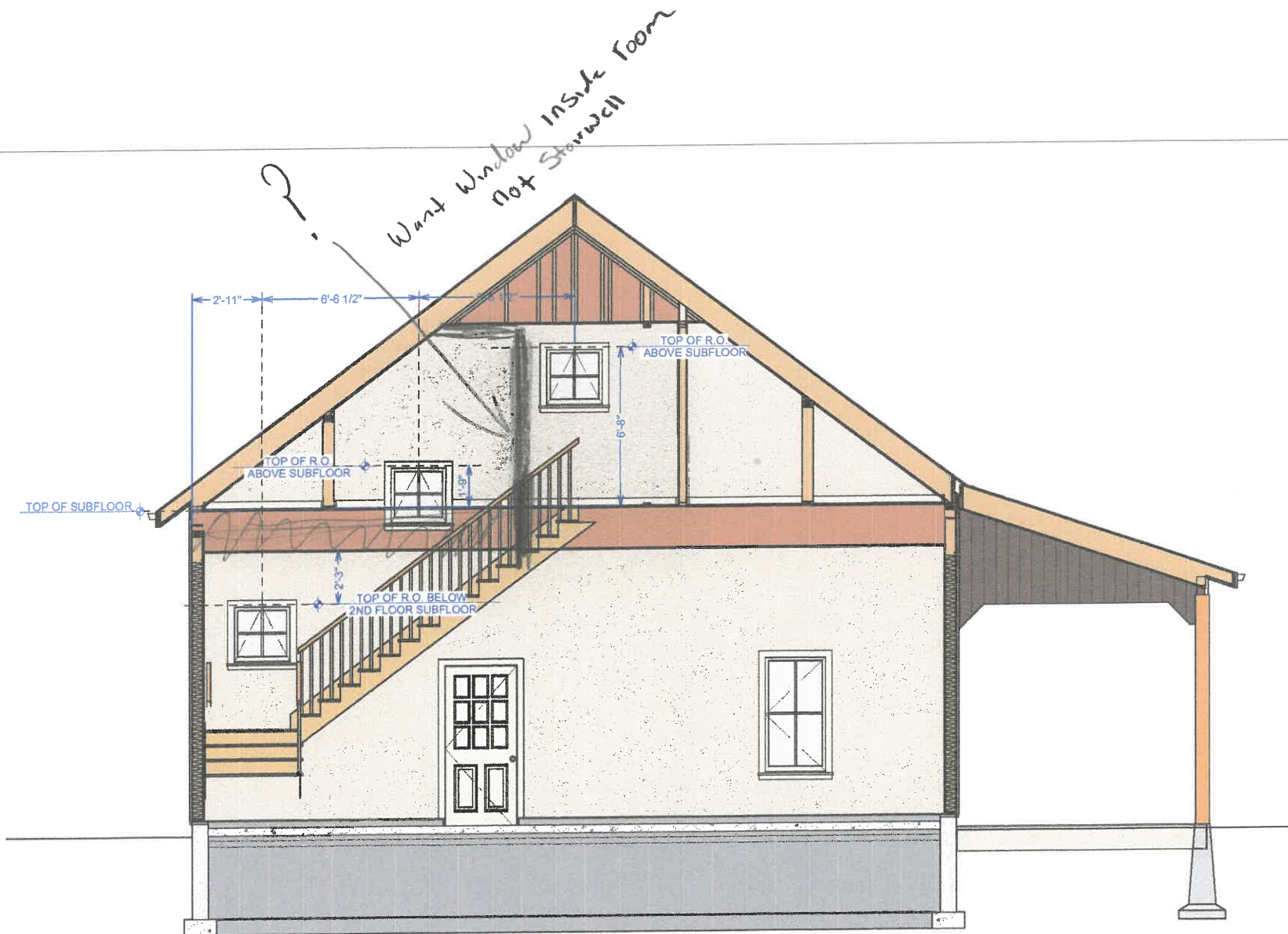
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SECTION 2  
SCALE: 1/4" = 1'-0"

11  
A2.6




**TRANSVERSE SECTION @ STAIRS**  
 SCALE - 1/4" = 1'-0"

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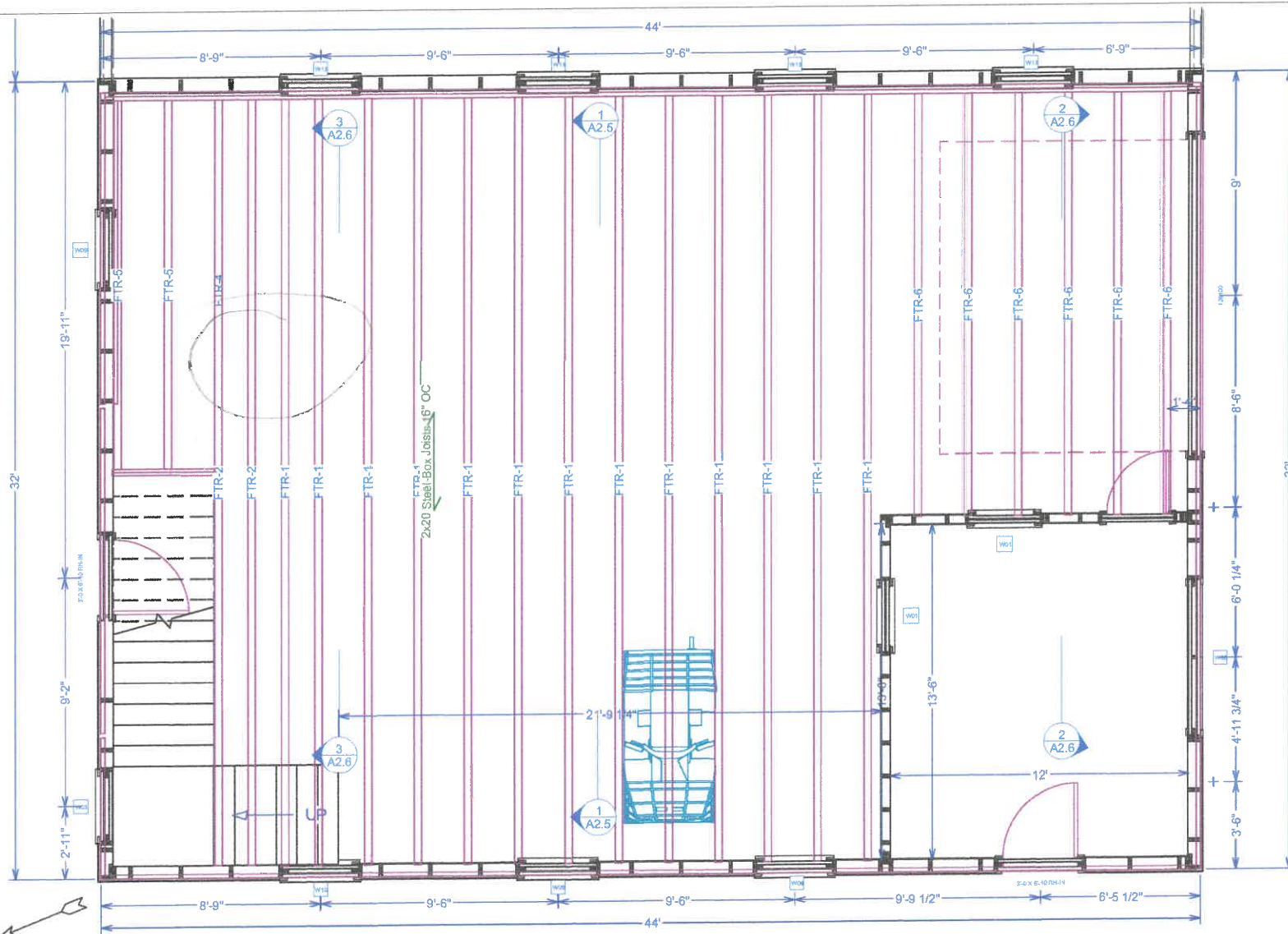
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**SWEET ROAD**  
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**SECTION 3**  
 SCALE: 1/4" = 1'-0"

**12**  
**A2.7**



2ND FLOOR FRAMING PLAN

SCALE - 1/4" = 1'-0"

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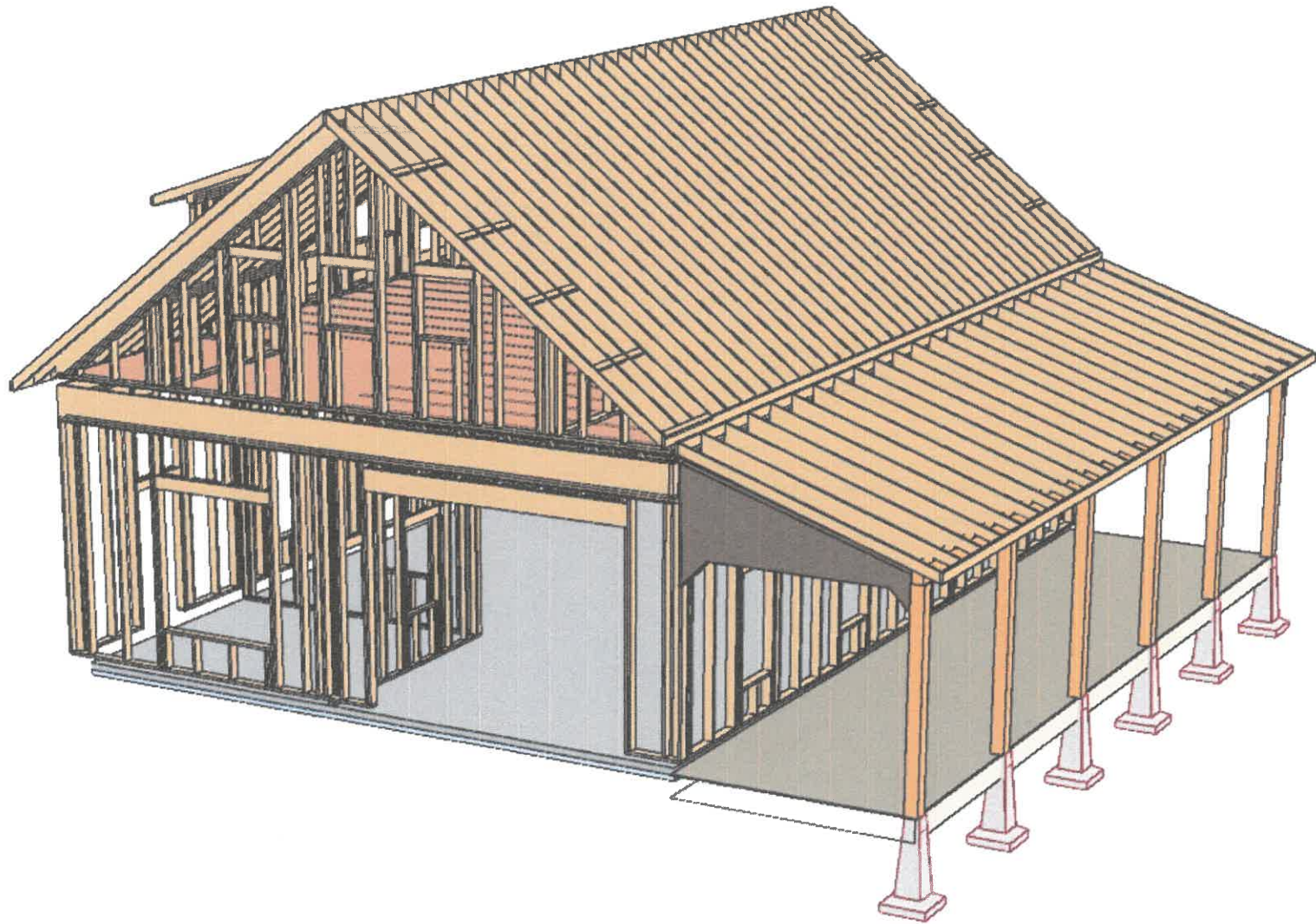
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SWEET ROAD  
WATERBURY CENTER VERMONT

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2ND FLOOR  
FRAMING PLAN

SCALE: 1/4" = 1'-0"

13  
FR1.1



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DESIGN BY:  
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1/13/2022

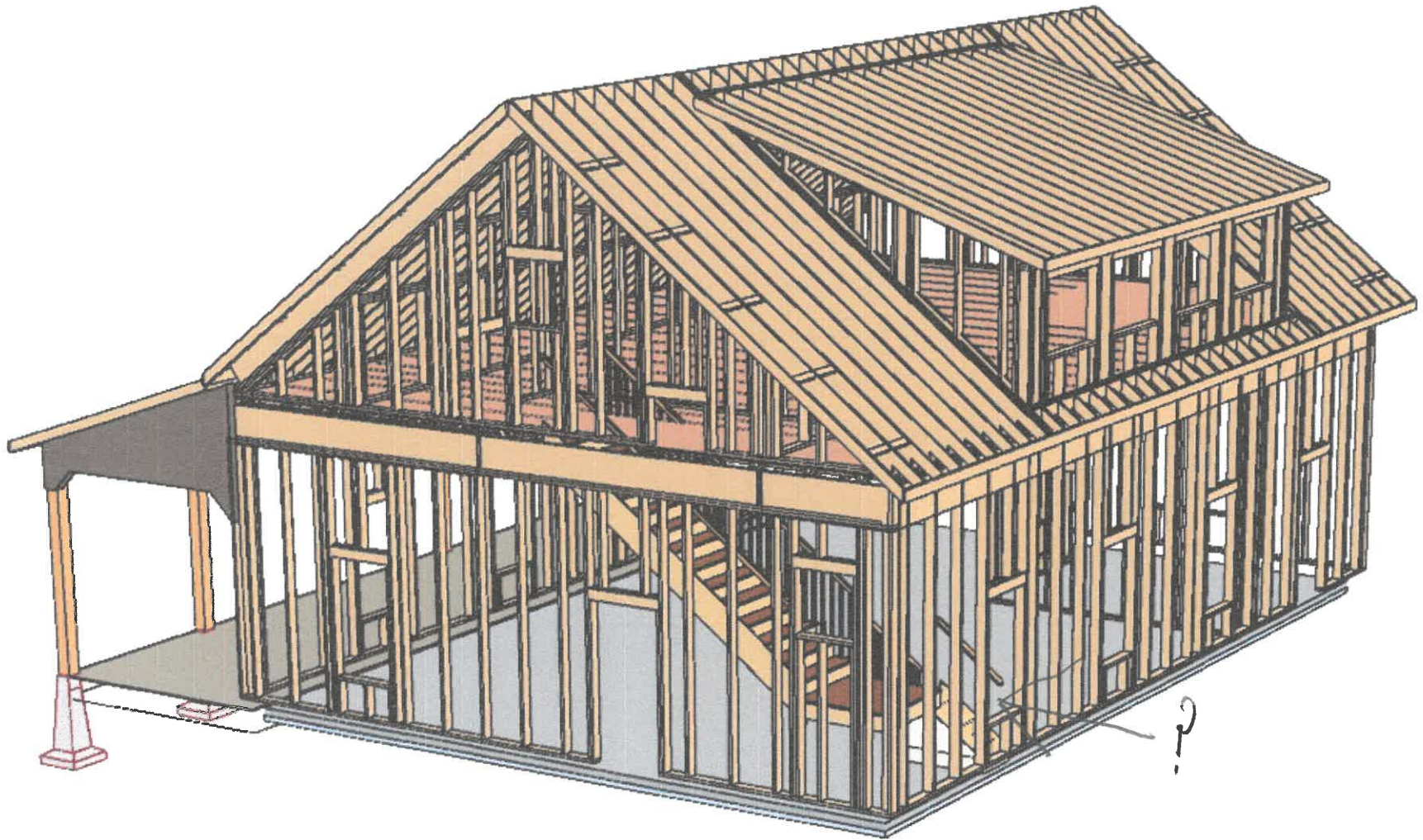
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ISOMETRIC  
FRAME VIEW - 1

SCALE: NONE

15  
3DF.1



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DESIGN BY:  
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1/13/2022

PROPOSED KURT KELLETT BARN  
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ISOMETRIC  
FRAME VIEW - 2

SCALE: NONE

16

3DF.2



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WINDOW  
SCHEDULE  
SCALE: NONE

17  
SCH.1

NO	PAINTER ELEVATION NUMBER	QTY	LOOKS LIKE	WIDTH	DEPTH	HGT	DESCRIPTION	UNIT	MANUFACTURER COMMENTS	VERIFY
W01	2847 P	2	1	2631HF	29"	47"	317469*	FIXED GLASS	263034* (2)	OFFICE INTERIOR - VERIFY DETAILS PELLA LIFESTYLE
W02	3586CS-3611TR-2W	1	1	51085	70"	78 1/2"	72009 1/2"	MALLED UNIT	263037 (2)	PELLA LIFESTYLE
W03	2029 AW	1	1	2525AW	29"	29"	317031*	SINGLE AWNING	263034* (2)	PELLA LIFESTYLE YES
W04	2025AW	1	2	3525AW	29"	29"	317031*	SINGLE AWNING	263034* (2)	PELLA LIFESTYLE
W05	2029 AW	2	2	2525AW	29"	29"	317031*	SINGLE AWNING	263034* (2)	PELLA LIFESTYLE
W07	4235 AW	4	2	31101AW	47"	28"	497007*	SINGLE AWNING	263032* (2)	PELLA LIFESTYLE
W08	2029 AW	2	2	2525AW	29"	29"	317031*	SINGLE AWNING	263034* (2)	PELLA LIFESTYLE YES
W09	3259 CS	3	1	284115C	32"	59"	347061*	SINGLE CASHERMENT+R	263037 (2)	PELLA LIFESTYLE
W10	3259 CS	1	1	284115C	32"	59"	347061*	SINGLE CASHERMENT+R	263037 (2)	PELLA LIFESTYLE YES
W13	3259 CS	4	1	284115C	32"	59"	347061*	SINGLE CASHERMENT+R	263037 (2)	PELLA LIFESTYLE



# Kellett Residence - 91 Moose Run Ln.

Waterbury Center, VT

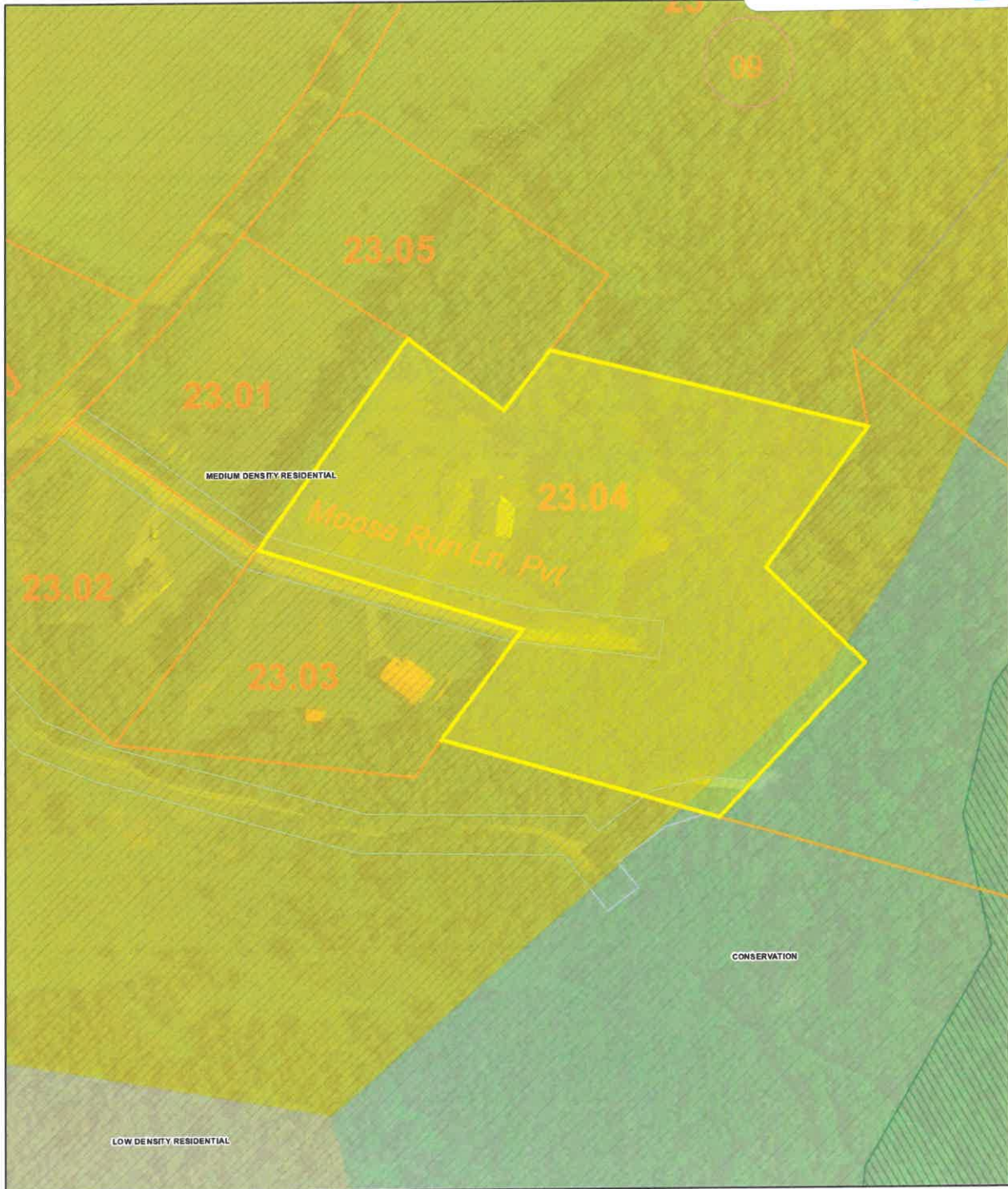
1 inch = 134 Feet



March 15, 2022



## EXHIBIT E1



Large Scale	CONSERVATION
Edge of public road right-of-way	LOW DENSITY RESIDENTIAL
Parcel boundary only	MEDIUM DENSITY RESIDENTIAL
LotCircles	
ROW	
SUBPARCEL	
Waterbury_2020_TextLines5000	
1200 ft	
1500 ft	

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# Kellett Residence - 91 Moose Run Ln.

Waterbury Center, VT

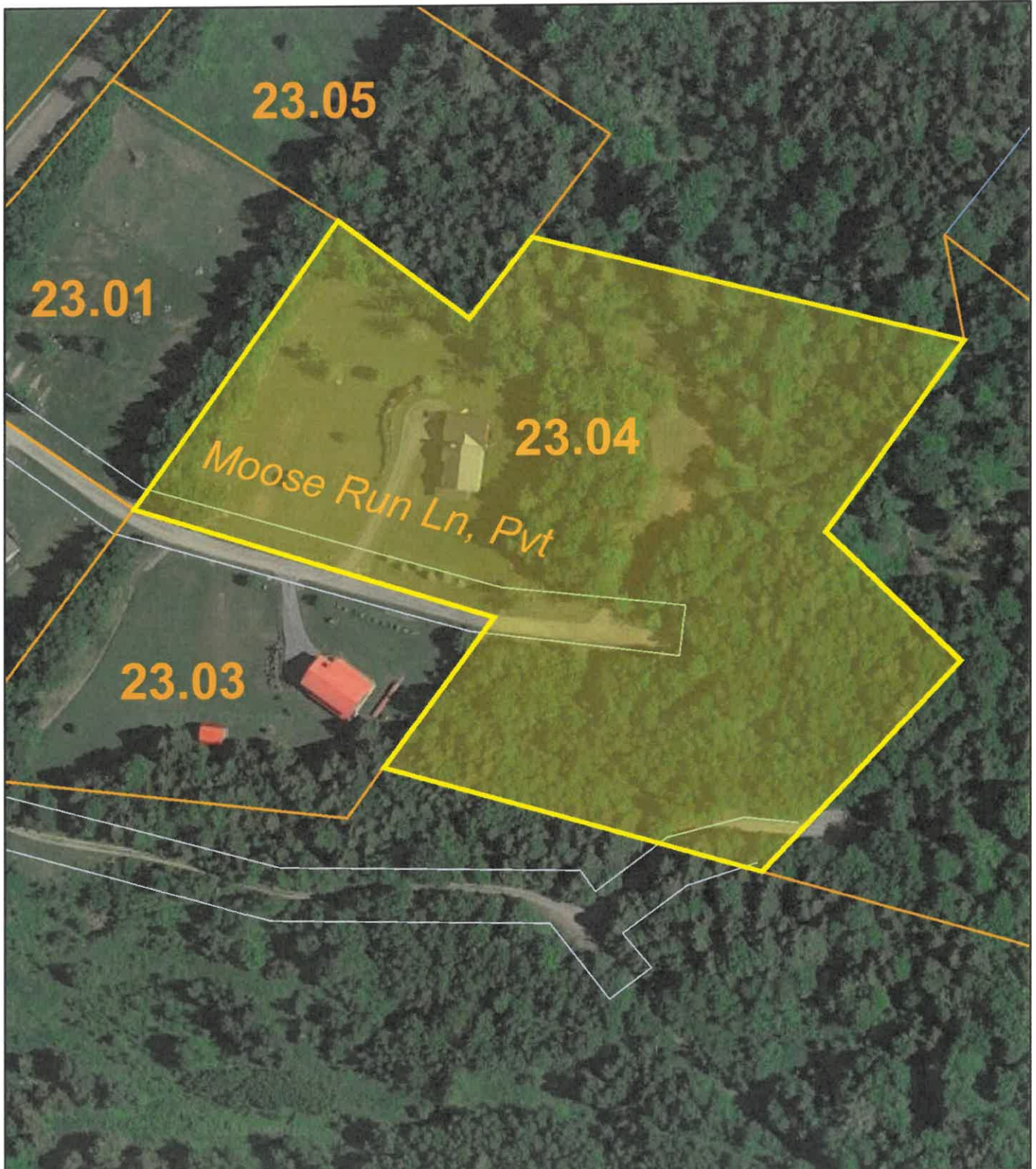
1 inch = 134 Feet



March 15, 2022



**EXHIBIT E2**



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