

TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

Date:	<u>05-03-2021</u>	Application #:	<u>039-21</u>
Fees Paid:	<u>150.</u>	+ \$15 recording fee =	<u>165-</u>
Parcel ID #:	<u>948-0028. V</u>		
Tax Map #:	<u>19-294.000</u>		

CONTACT INFORMATION

APPLICANT

Name: Perry Hill Partners c/o Aaron Flint & Jason Wulff
 Mailing Address: 360 Upland Mowing
Waterbury, VT 05676
 Home Phone : 802-371-9433
 Work/Cell Phone: _____
 Email: Aaron@aaronflintbuilders.com; jason_wulff@yahoo.com

PROPERTY OWNER (if different from Applicant)

Name: _____
 Mailing Address: _____
 Home Phone : _____
 Work/Cell Phone: _____
 Email: _____

PROJECT DESCRIPTION

Physical location of project (E911 address): 28 Stowe Street

Lot size: 0.24 Ac Zoning District: DWN DC, DDR Overlay

Existing Use: Office/Retail Space Proposed Use: Restaurant/Retail Space

Brief description of project: _____
Change in use of the 1st floor from retail/office space to a 21-seat restaurant/bar
with 900 sf of retail space.

Cost of project: \$ N/A Estimated start date: N/A

Water system: Municipal Connection Waste water system: Municipal Connection

EXISTING

Square footage: 2,085 SF Height: N/A
 Number of bedrooms/baths: _____
 # of parking spaces: 21
 Setbacks: front: _____
 sides: _____ / rear: _____

PROPOSED

Square footage: 2,085 SF Height: N/A
 Number of bedrooms/bath: _____
 # of parking spaces: 23
 Setbacks: front: _____
 sides: _____ / rear: _____

ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit E911 Address Request
 Water & Sewer Allocation none of the above

[Additional State Permits may also be required]

CHECK ALL THAT APPLY:

NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other _____

USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

OTHER

- Subdivision (# of Lots: _____)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other _____

SKETCH PLAN

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

#039-21

PHP/Flint/Wulff

SEE ATTACHED PLAN

SIGNATURES

The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

Jason D Wulff 5/3/2021
Applicant Signature date

Jason D Wulff 5/3/2021
Property Owner Signature date

CONTACT

Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

OFFICE USE ONLY

(DDR), Historic Commercial sub-district (HC)

Zoning District/Overlay: Downtown (DWN), Downtown Design Review
Review type: Administrative DRB Public Warning Required: Yes No
DRB Referral Issued (effective 15-days later): May 12, 2021
DRB Mtg Date: 6/2/21 Decision Date: _____
Date Permit issued (effective 16-days later): _____
Final Plat due (for Subdivision only): -

REVIEW/APPLICATIONS:
 Conditional Use Waiver
 Site Plan
 Variance
Subdivision:
 Subdv. BLA PUD
Overlay: (HC)
 DDR SFHA RHS CMP
 Sign
 Other _____
 n/a

Remarks & Conditions: _____

Authorized signature: _____ Date: _____

Date: _____ Application #: _____

Fees Paid: _____ (\$15 recording fee already paid)

Parcel ID #: _____

Tax Map #: _____

TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the **Town of Waterbury** according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

PROJECT DESCRIPTION

Brief description of project: Change in use of the 1st floor from retail/office space to a 21-seat restaurant/bar with 900 sf of accessory retail space. No exterior building changes.

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-foot or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

***No changes to previously approved exterior**

SUBMISSION REQUIREMENTS.

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

May 3, 2021

Dina Bookmyer-Baker
Waterbury Zoning Administrator
28 North Main St, Suite 1
Waterbury, VT 05676

RE: Change in Use – 1st Floor Bell's Block
Perry Hill Partners, LLC, 28 Stowe Street
McCain Project No. 37052

Dear Dina,

Enclosed please find the following documents for the above referenced project:

- Fee Check in the Amount of \$165.00
- Project Narrative and Supporting Information
- Zoning Permit Application;
- DDR Overlay District Application;
- Fee Structure Worksheet;
- Site Plan Sheet C-1, dated December 24, 2019, last revised 05/01/21.

The enclosed application is for a proposed 21-seat restaurant/bar with 900 square feet of accessory retail space. Please see the attached project narrative and supporting information for additional details addressing the proposed use and responses to review criteria under the recently approved interim downtown zoning regulation and Site Plan review criteria per the WZR.

Feel free to reach out to us with any additional questions or comments that you may have.

Sincerely,
McCain Consulting, Inc.



George N. McCain Jr. P.E.
Enc.

PROJECT NARRATIVE AND SUPPORTING INFORMATION
PERRY HILL PARTNERS
CHANGE IN USE, 1ST FLOOR BELL'S BLOCK, 28 STOWE STREET

The project lies within the Town of Waterbury DC (Downtown Commercial) Zoning District and the Downtown Design Review (DDR) and Historic Commercial (HC) overlay/sub-districts. The project has been designed to meet the requirements of the newly approved interim zoning regulations for the Downtown Zoning District adopted by the Select Board on 4/26/2021.

The applicant proposes to change the use of the first floor from Retail store/service (>2,000sf) (<2,000sf) to a Restaurant/Bar, up to 4,000 sf and accessory retail space, both of which are identified as a permitted use under the interim zoning regulation. The existing first floor is approximately 2,085 sf.

Freak Folk Bier is a craft beer brewer that is seeking to create a 21-seat drinking establishment. Accessory to this will be a small retail area of the finished products and a production area. The retail component is allocated 900 sf and the remaining 1,185 sf to the restaurant/bar and production. No commercial kitchen or food preparation is proposed. Bar type snacks shall be served as regulated by the State of Vermont. The applicant will produce less than 2,000 barrels of alcoholic beverage on-site, and at least 25% of the beverage produced on-site will be sold on the premises. The applicant intends to have periodic live music events. Events would be during other tenant non-business hours. Live entertainment is acceptable as an accessory use under the definition of Restaurant/Bar.

Employees: The applicant plans 4 full time employees at full capacity.

Hours of operation:

Bar-

Tue-Thurs 3pm-11pm

Fri-Sun 12pm-11pm

Production

Mon-Fri 6am-6pm

Site Plan Review and Performance Standards:

Odors/ Noise:

Brew days will vary. 2-3 times per week. Smell of boiling wort will be produced during the hours of 11am-5pm. Steam from the kettle will be directed to the outside of the building facing the railroad. There will be noticeable smell during boiling but, is will be minimal. The process does not produce detectable noise outside of the building.

Glare:

All lighting will be downcast and shielded as per prior applications and approvals for the existing structure.

Vibration:

None associated with the proposed use.

Electrical or Radio Interference:

None associated with the proposed use.

Waste and Material Storage:

Normal refuse associated with the Restaurant/Bar will be disposed of in on-site dumpster within a screened area, as shown on the enclosed Site Plan. The applicant is working with the town on disposing of small amounts of

waste associated with the brewing operation off-line of the town wastewater system, none of which will be stored in a manner that attracts insects or rodents or creates a health hazard.

Particulate Matter and Airborne Solids:

None associated with the proposed use.

Flammable, Toxic or Hazardous Substances and Wastes:

None associated with the proposed use.

Traffic/circulation & parking:

There will be no change to the previously-approved traffic access to and through the site, with traffic circulating one-way, entering at Stowe Street and exiting at 11 N. Main Street.

Parking – currently permitted on site are:

11 N. Main Street – total 11 spaces

28 Stowe Street – 21 spaces

Total – 32 required. Existing site plan shows 33 available plus a spot reserved for Green Mountain Power guy wire. This wire was not needed and not installed by GMP. Therefore 34 spaces physically exist. 11 are dedicated to 11 N. Main leaving 23 available to 28 Stowe.

Prior approval described 28 Stowe St. as 6,255 sf combined office/retail requiring 21 spaces (1/300sf).

The proposed parking requirements based on WZR Parking Regulation 414 are calculated as follows:

Retail stores or services – 1 per 300 sf of floor area

900sf retail area.....3 spaces

Eating and drinking establishments – 1 for every three seats, including bar stools, plus one for every person normally working on premises during any one shift.

21 proposed seats.....7 spaces

1 space per employee.....3 spaces

A minimum of 13 spaces are required during peak hours. It is assumed that one of the employees listed is allocated within the Retail use. It is also reasonable to assume the retail function will be largely made up of the bar patrons.

Perry Hill Partnership expects to manage the available 23 spaces for Stowe St. as follows:

Office/Clinic Uses - Monday – Friday 8am - 5pm.....14 spaces

Freak Folk Bier - Monday – Friday 6am – 6pm.....9 spaces

Freak Folk Bier – Monday – Friday 6pm – 11pm.....21 spaces

Freak Folk Bier – Saturday – Sunday.....21 spaces

Deliveries – All deliveries are scheduled and via standard box type trucks. No tractor trailers.

Pedestrian access/landscaping/lighting and refuse – There are no proposed changes to the previously approved site plan with regard to these elements.

Conditional Use Criteria – not applicable as all proposed uses are Permitted within the Downtown Zoning District.

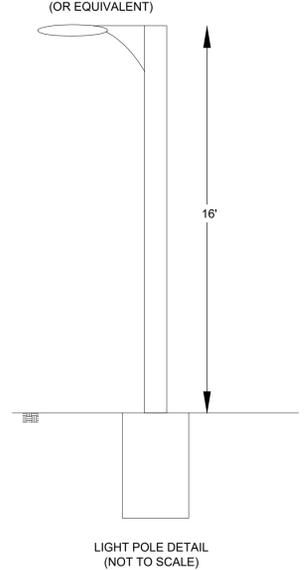
Downtown Design Review Overlay District – There are no proposed exterior changes except for claiming the one additional parking space, previously reserved for GMP guy wire.

ZONING INFORMATION

26-28 STOWE ST.
 DISTRICT - DOWNTOWN COMMERCIAL
 LOT AREA - 0 SF
 FRONT YARD SETBACK - 0'
 SIDE YARD SETBACK - 0'
 REAR YARD SETBACK - 0'

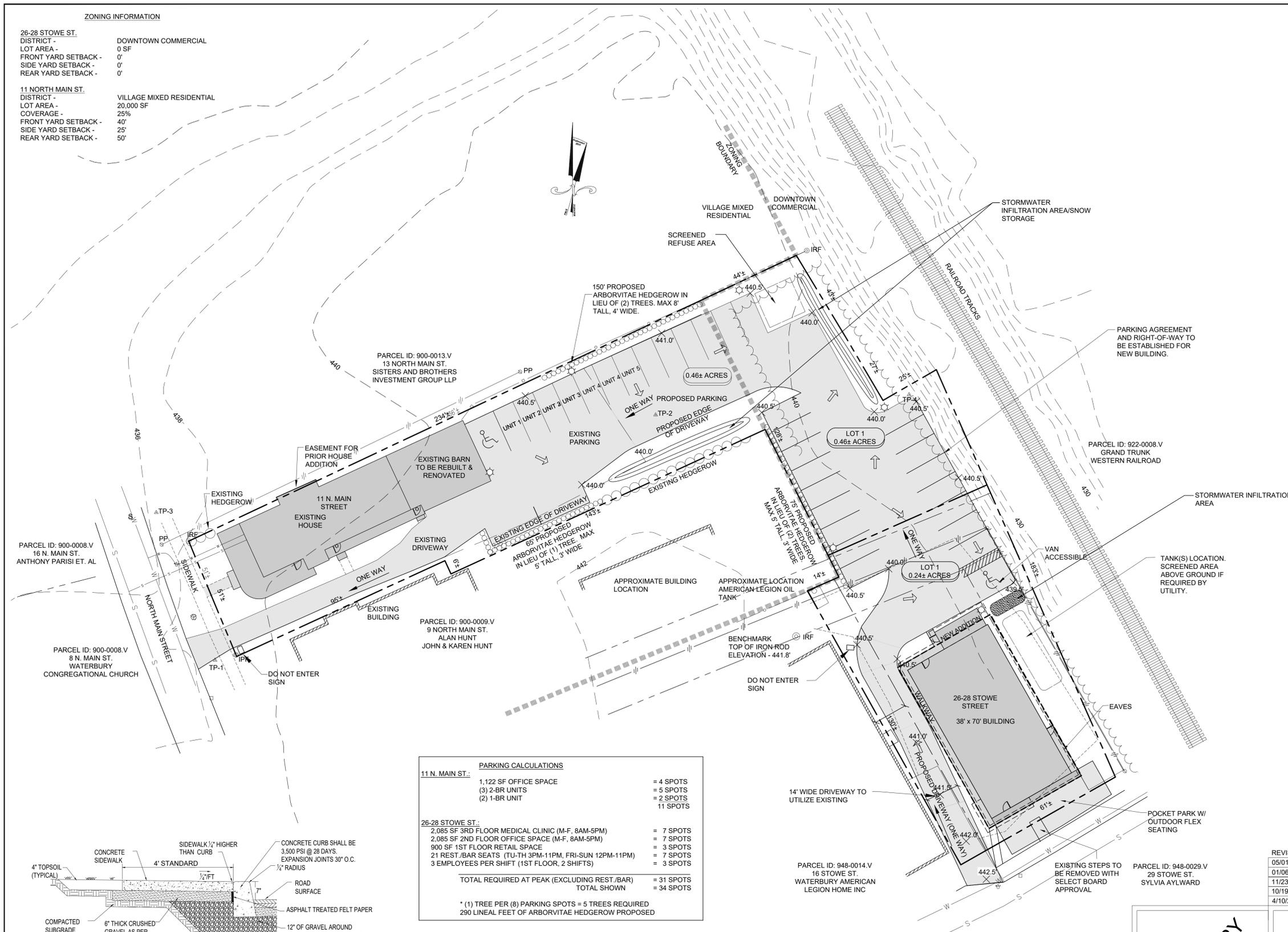
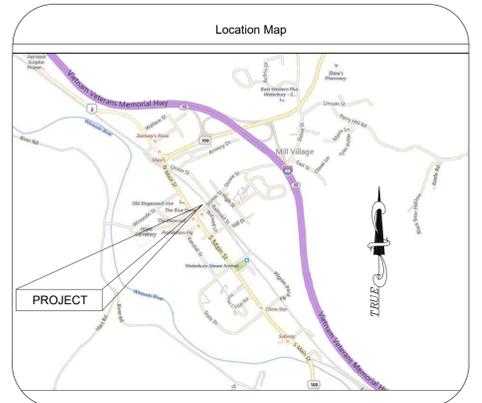
11 NORTH MAIN ST.
 DISTRICT - VILLAGE MIXED RESIDENTIAL
 LOT AREA - 20,000 SF
 COVERAGE - 25%
 FRONT YARD SETBACK - 40'
 SIDE YARD SETBACK - 25'
 REAR YARD SETBACK - 50'

RAB ALED4T50N AREA LIGHT (OR EQUIVALENT)



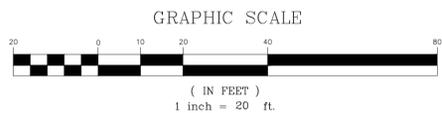
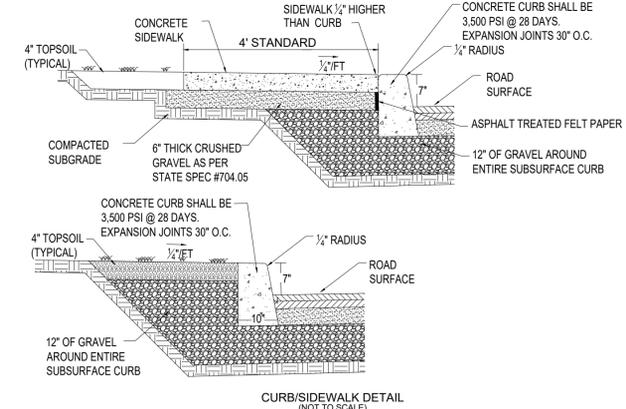
LEGEND

- △ TP-1 Traverse point
- IPF Iron pipe found
- IRF Iron rod found
- ⊕ Water shut off valve
- ⊙ PP Utility pole
- ⊙ Sewer manhole
- Tree
- Fence
- Overhead power lines
- Hedge row
- Property line
- Property line adjointer
- ⊙ Area light
- Zoning boundary
- Drainage direction
- Screening fence



11 N. MAIN ST. PARKING CALCULATIONS	
1,122 SF OFFICE SPACE	= 4 SPOTS
(3) 2-BR UNITS	= 5 SPOTS
(2) 1-BR UNIT	= 2 SPOTS
	11 SPOTS
26-28 STOWE ST.:	
2,085 SF 3RD FLOOR MEDICAL CLINIC (M-F, 8AM-5PM)	= 7 SPOTS
2,085 SF 2ND FLOOR OFFICE SPACE (M-F, 8AM-5PM)	= 7 SPOTS
900 SF 1ST FLOOR RETAIL SPACE	= 3 SPOTS
21 REST./BAR SEATS (TU-TH 3PM-11PM, FRI-SUN 12PM-11PM)	= 7 SPOTS
3 EMPLOYEES PER SHIFT (1ST FLOOR, 2 SHIFTS)	= 3 SPOTS
TOTAL REQUIRED AT PEAK (EXCLUDING REST./BAR)	= 31 SPOTS
TOTAL SHOWN	= 34 SPOTS

* (1) TREE PER (8) PARKING SPOTS = 5 TREES REQUIRED
 290 LINEAL FEET OF ARBORVITAE HEDGEROW PROPOSED



Topography by Total Station
 Contour Interval 2'
 Approximate USGS Datum
 Based on Hand Held GPS Unit

THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION ACTIVITIES, COMPONENT LOCATIONS, SPECIFICATIONS, AND DETAILS PRIOR TO COMMENCEMENT OF SITE WORK AND SHALL NOTIFY MCCAIN CONSULTING OF ANY ISSUES OR DISCREPANCIES THAT ARISE FROM THAT REVIEW.

THIS IS NOT A SURVEY. THIS PLAN DOES NOT MEET THE REQUIREMENTS OF 27 VSA SEC. 1403 FOR THE FILING OF SURVEY PLATS.

PRELIMINARY
 FOR TOWN PERMITTING

ENGINEER:
 GEORGE N. MCCAIN Jr., P.E.
 VT P.E. 92506

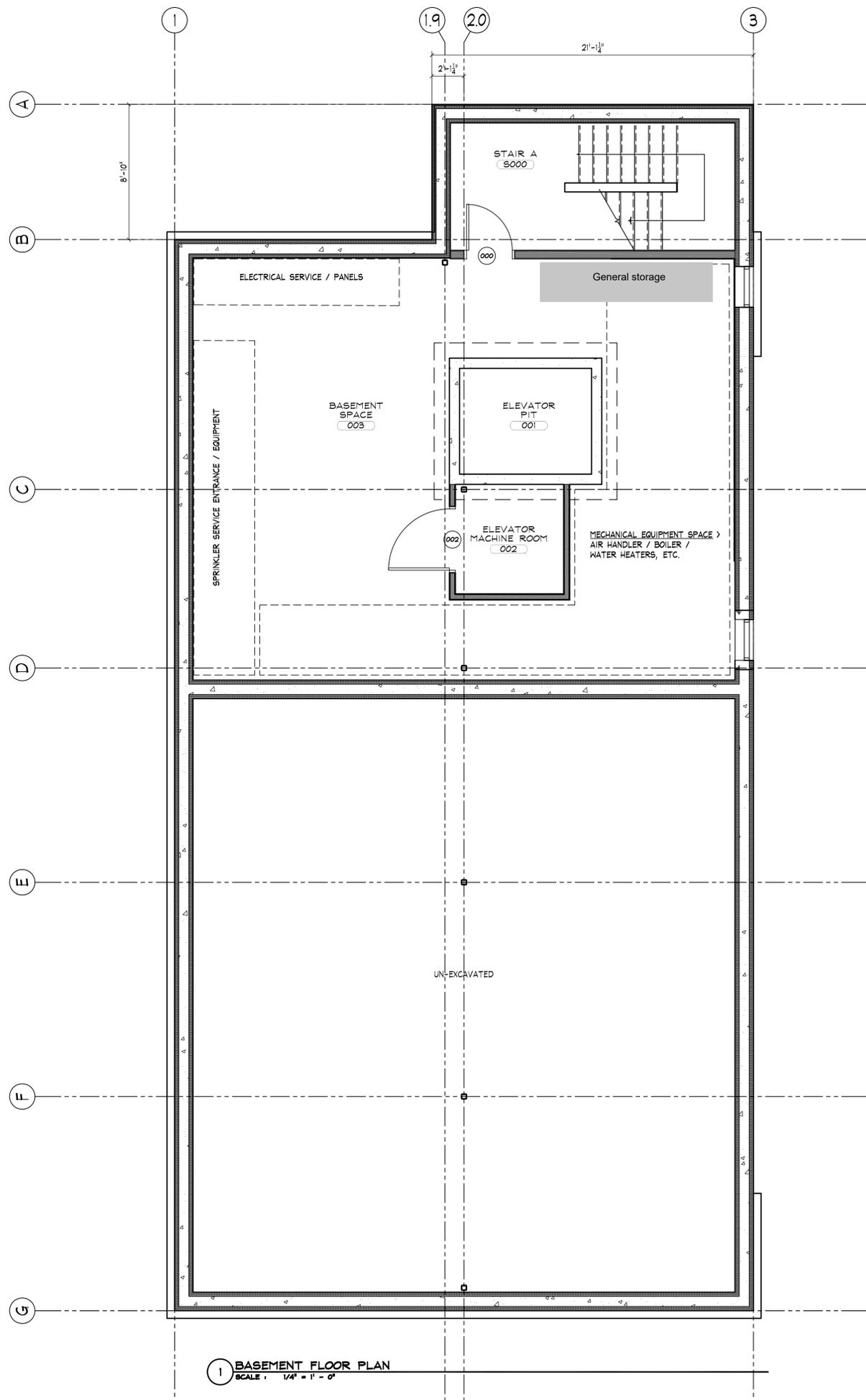
REVISIONS	
05/01/21	UPDATED PARKING FOR 1ST FLOOR CHANGE IN USE, ADDED OUTDOOR FLEX SEATING AREA
01/06/21	UPDATED PARKING CALCULATIONS TO REFLECT 1ST FLOOR RETAIL
11/23/20	UPDATED PARKING CALCULATIONS, MISC FOR PROPOSED 3RD FLOOR CHANGE IN USE
10/19/20	UPDATED PARKING CALCULATIONS, MISC FOR PROPOSED 1ST FLOOR CHANGE IN USE
4/10/20	UPDATED 11 N. MAIN AS-BUILT CONDITIONS FOR TOWN PERMITTING

SITE PLAN
PERRY HILL PARTNERS
 REVISIONS TO MULTI-USE DEVELOPMENT
 11 N. MAIN ST. & 26-28 STOWE ST. WATERBURY, VT

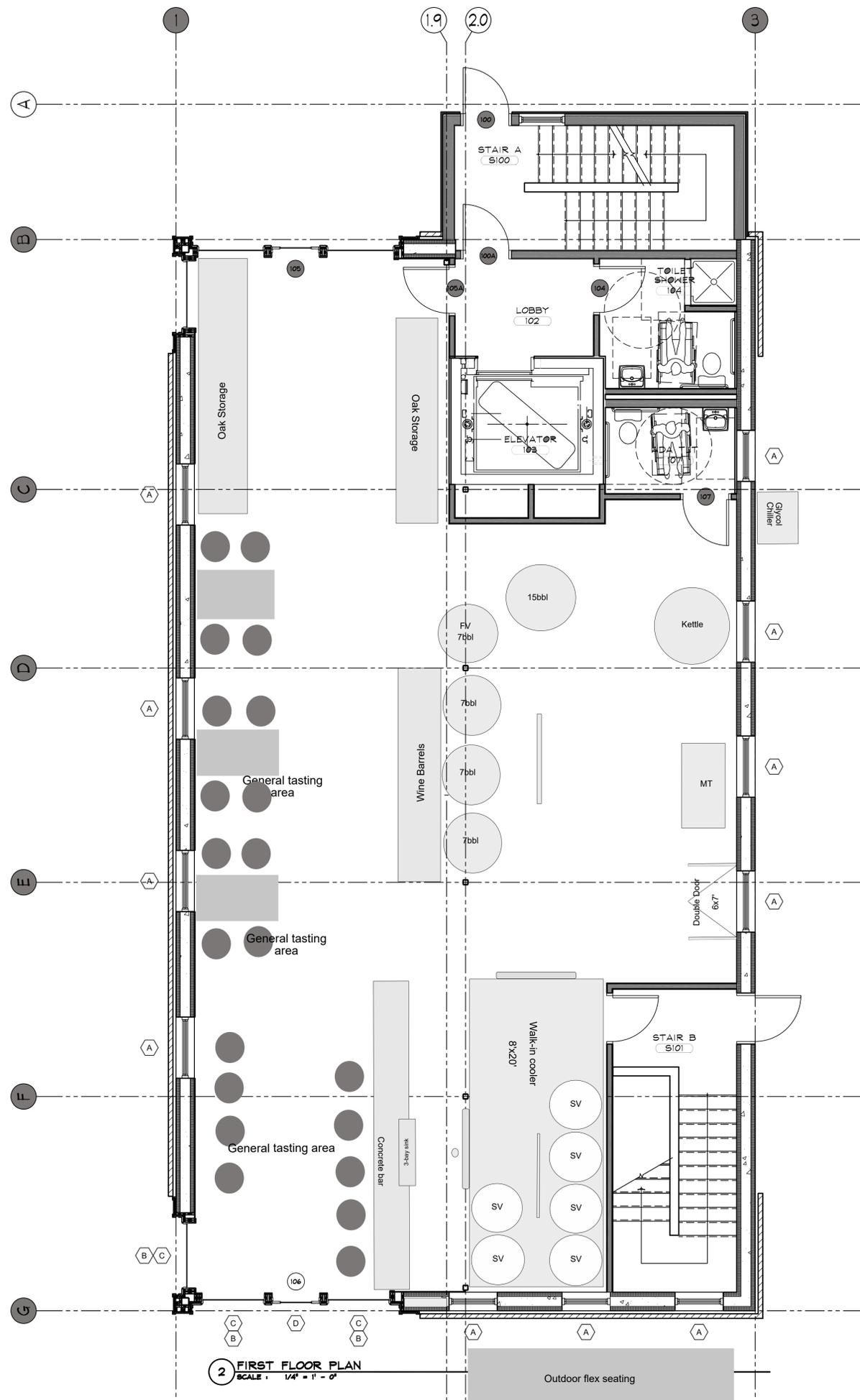
SCALE: 1" = 20'
 DESIGNED BY: GMJr PROJECT #37052
 DRAWN BY: WDB
 CHECKED BY: GMJr

MCCAIN CONSULTING, INC.
 93 SOUTH MAIN STREET
 WATERBURY, VERMONT 05676

DATE: DECEMBER 24, 2019 SHEET C-1



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1' - 0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

FREAK FOLK BIER
PROPOSED LAYOUT
FOR REVIEW ONLY
05/02/2021