

TOWN OF WATERBURY ZONING PERMIT APPLICATION

Date:	<u>04.30.2021</u>	Application #:	<u>036-21</u>
Fees Paid:	<u>300.</u>	+ \$15 recording fee =	<u>315.-</u>
Parcel ID #:	<u>680-0400</u>		
Tax Map #:	<u>10-023.050</u>		

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

CONTACT INFORMATION

APPLICANT

Name: 2ND GEN BUILDERS, LLC
 Mailing Address: 839 SHERMAN Hollow Rd.
Hinesburg, VT 05461
 Home Phone: 802-578-2729
 Work/Cell Phone: SAME
 Email: rpeeters@comcast.net

PROPERTY OWNER (if different from Applicant)

Name: JEFF SOLTESZ, LIESEL POLLUST
 Mailing Address: 6 ROBERTS DRIVE
SCITUATE, MA 02066
 Home Phone: 617-320-1263
 Work/Cell Phone: SAME
 Email: jeffsoltesz@gmail.com

PROJECT DESCRIPTION

Physical location of project (E911 address): 340 SWEET ROAD

Lot size: 2.1^{1/2} ACRES Zoning District: MEDIUM DENSITY RES.

Existing Use: RESIDENTIAL Proposed Use: RESIDENTIAL

Brief description of project: NEW 2 STORY FRAMEHOUSE
4 BR.'S, 3 BATH W/ ATTACHED 2
OAN GARAGE

Cost of project: \$ 948,126 - Estimated start date: ASAP

Water system: WELL Waste water system: MOUND

EXISTING

Square footage: N/A Height: _____

Number of bedrooms/baths: ~~3~~

of parking spaces: N/A

Setbacks: front: 70'

sides: 50' / 50' rear: 50'

PROPOSED

Square footage: 2000 Height: 35'

Number of bedrooms/bath: 4/4

of parking spaces: 2

Setbacks: front: 70'

sides: 50' / 50' rear: 50'

ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request COMPLETE # 340
- Water & Sewer Allocation
- none of the above

[Additional State Permits may also be required]

CHECK ALL THAT APPLY:

NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other _____

USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

OTHER

- Subdivision (# of Lots: _____)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other _____

SKETCH PLAN Please include a sketch of your project, drawn to scale, with all required measurements - see Zoning Permit Application Instructions. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

SEE ATTACHED

SIGNATURES The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

Applicant Signature

4/29/2021
date

Property Owner Signature

4/29/2021
date

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

OFFICE USE ONLY

Zoning District/Overlay: _____
 Review type: Administrative DRB Public Warning Required: Yes No
 DRB Referral issued (effective 15-days later): _____
 DRB Mtg Date: _____ Decision Date: _____
 Date Permit issued (effective 16-days later): _____
 Final Plat due (for Subdivision only): _____
 Remarks & Conditions: _____
 Authorized signature: _____ Date: _____

REVIEW/APPLICATIONS:
 Conditional Use Waiver
 Site Plan
 Variance
 Subdivision:
 Subdv. BLA PUD
 Overlay:
 DDR SFHA RNS CMP
 Sign
 Other _____
 n/a

Date: _____ Application #: _____
Fees Paid: _____ (\$15 recording fee already paid)
Parcel ID #: _____
Tax Map #: _____

TOWN OF WATERBURY SITE PLAN REVIEW INFORMATION

This Site Plan Review information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: NEW SINGLE FAMILY DWELLING
2,888 SF LIVING SPACE W/ FULL BASEMENT + TWO CAR
GARAGE 340 SWEET ROAD

SITE PLAN REVIEW CRITERIA

Please utilize the check list to ensure your proposal addresses each relevant Site Plan Review criteria:

- Adequacy of traffic access
- Adequacy of circulation and parking
- Adequacy of landscaping and screening (including exterior lighting)
- Requirements for the Route 100 Zoning District
- Special considerations for projects bordering Route 2, Route 100, or Interstate 89

SITE PLAN SUBMISSION REQUIREMENTS

Before an application for site plan review is considered complete, the applicant shall file a site plan, clearly drawn to the largest practical scale, showing the following:

- Location and dimensions of lot lines, names of adjacent landowners, all easements, utilities, and existing and proposed structures.
- All access to public streets or roads, parking and service areas, pedestrian walkways, curbs and stormwater drainage.
- Pedestrian and vehicular circulation, including parking lot layout, entrances to structures, signs, and lighting.
- Building elevations and footprints.
- Detailed site grading and landscaping, indicating existing and proposed trees, shrubs, and ground cover.
- Two copies of all plans.
- For plans larger than 11"x17" please submit a digital plan set in addition to the paper copy (pdf. file format).

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Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

TOWN OF WATERBURY CONDITIONAL USE INFORMATION

Date:	Application #:
Fees Paid:	(\$15 recording fee already paid)
Parcel ID #:	
Tax Map #:	

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: NEW SINGLE FAMILY DWELLING 2800 SF
LIVING SPACE w/ FULL BASEMENT & TWO CAR GARAGE
#1340 SWEET ROAD

CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):

*N/A ONSITE MOUND SYSTEM
ONSITE WELL / WATER SUPPLY*

2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:

THIS IS A SINGLE FAMILY TWO STORY FRAMEHOUSE. THE DESIGN AND SIZE WILL FIT THE AREA PERFECTLY

3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:

SINGLE FAMILY DWELLING WILL NOT VIOLATE ANY MUNICIPAL BYLAWS

4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:

*- ALL STATE REQUIRED EMISSION CONTROL MEASURES WILL BE IN PLACE
- ENTRY DRIVE OFF OF SWEET ROAD WILL BE WATERED TO PREVENT DUST*

5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

*THERE WILL BE NO EARTH OR MINERAL PRODUCTS REMOVED
NOT INCIDENTAL TO CONSTRUCTION / LANDSCAPING*

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Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

Date: _____ Application #: _____
 Fees Paid: _____ (\$15 recording fee already paid)
 Parcel ID #: _____
 Tax Map #: _____

TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

PROJECT DESCRIPTION

Brief description of project: NEW SINGLE FAMILY DWELLING LOCATED @ 340 SWEET ROAD. 2880 SF w/ 2 CAR ATTACHED GARAGE

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-feet or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

SUBMISSION REQUIREMENTS:

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

RIDGELINE, HILLSIDE, STEEP SLOPE OVERLAY DISTRICT (RHS)

REVIEW STANDARDS:

- For both Minor & Major Development Projects see Conditional Use Criteria
- For Major Development Projects:
 - Screening
 - Access
 - Placement of Structures
 - Exterior Lighting
 - Clearcutting and Pre-Development Site Preparation
 - Natural Resources
 - Building Design

SUBMISSION REQUIREMENTS :

- Minor Development Projects (1,200—1,499 FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
- Major Development Projects (1,500 & up FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
 - Grading Plan
 - Visibility Studies
 - Stormwater Drainage/Erosion Control Plan
 - Landscape Plan
 - Access Plan Natural Features

SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (SFHA)

DESIGN STANDARDS:

- All development is reasonably safe from flooding All fuel storage tanks are either elevated or floodproofed.
- All substantial improvements and new construction (including fuel storage tanks) meet the following criteria:
- Designed, operated, maintained, modified and adequately anchored to prevent flotation, collapse, release, or lateral movement of the structure
 - Constructed with materials resistant to flood damage
 - Constructed by methods and practices that minimize flood damage
 - Constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding
 - All new subdivisions and other proposed developments that are greater than 50 lots or 5 acres, whichever is the lesser shall include within such proposal base flood elevation data. See Regulations for additional subdivision standards.
 - The fully enclosed areas below the lowest floor that are useable solely for parking of vehicles, building access, or storage in an area other than a basement are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
 - A non-residential, appurtenant structure of 500 sf or less need not be elevated to or above the base flood elevation in this area, provided the structure is placed on the building site so as to offer the minimum resistance to the flow of floodwaters
 - In Zones AE, A, and A1 – A30 where base flood elevations and/or floodway limits have not been determined, new construction and substantial improvement shall not be permitted unless it is demonstrates additional standards (see Regulations)
 - All new construction and substantial improvements of residential structures within Zones A1-30, and AE must have the lowest floor of all residential structures (including basement) elevated to at least one foot above the base flood level.
 - All manufactured homes are installed using methods and practices which minimize flood damage. Manufactured homes must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above base flood elevation, and they must be anchored to an adequately anchored foundation to resist flotation collapse, or lateral movement.
 - All new construction and substantial improvements of non-residential structures within Zones A1-30, and AE shall:
 - Have the lowest floor (including basement) elevated to at least two feet above the base flood level; or
 - Be designed so that below the base flood level the structure is water tight with walls substantially impermeable to the passage of water with structural components having the capability of resisting hydrostatic and hydrodynamic loads and

Setbacks:

The following are general setback distances that must be met unless otherwise authorized by the permitting authority and/or the consultant. This list does not necessarily include all required setback distances and the listed setback distances may not apply to all sites:

ITEM	LEACHFIELD	SEPTIC TANK	SEWER
DRILLED WELL	SEE PLAN	50	50
SPRING	SEE PLAN	75	75
LAKES, PONDS, IMPOUNDMENTS	50	25	10
RIVERS, STREAMS	50	25	10
PROPERTY LINE	25	10	10
ROADWAY, DRIVEWAY, PARKING LOTS	10	5	SEE PLAN
TREES	10	10	10
SERVICE WATER LINE	25	25	SEE PLAN

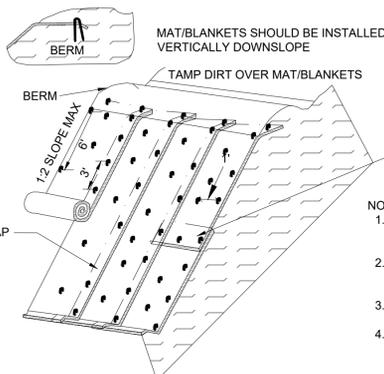
ZONING/SETBACK INFORMATION

DISTRICT	MEDIUM DENSITY RESIDENTIAL
MINIMUM LOT AREA	2 AC
MINIMUM LOT FRONTAGE	200'
FRONT SETBACK	60'
SIDE SETBACK	50'
REAR SETBACK	50'
MAXIMUM BUILDING HEIGHT	35'

LEGEND

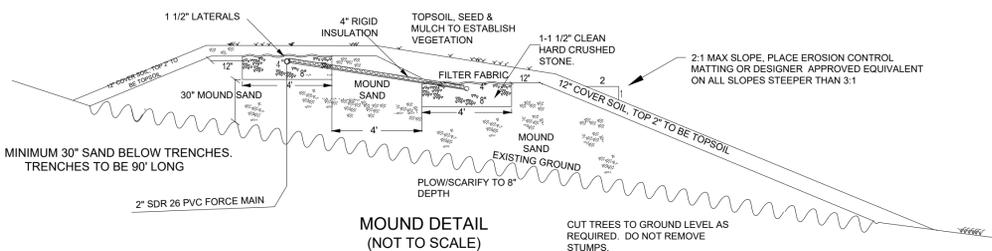
- △ PP-1 Traverse point
- SB-1 Test pit
- PT-1 Percolation test
- ⊙ W Proposed well
- ⊙ IRF Iron rod found
- ⊙ Benchmark
- ⊙ PP Utility pole
- — — — — Culvert
- - - - - Property line
- 100 10' contours
- 2' 2' contours
- > Ditch/drainage swale
- /// Overhead power lines
- Right-of-way line
- CD > Curtain drain
- Tree line
- x Barbed wire fence

NOTE:
SEE WW-5-5124 FOR ADDITIONAL SPECIFICATIONS AND DETAILS.



EROSION CONTROL MATTING DETAIL FOR MOUND SIDE SLOPES
(NOT TO SCALE)

- NOTE:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 2. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH.
 3. USE 50% MORE STAPLES ON ENDS AND OVERLAPS.
 4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



MOUND DETAIL
(NOT TO SCALE)

CURTAIN DRAIN TO BE A MINIMUM OF 20' ABOVE THE MOUND AND MAXIMUM OF 30' ABOVE THE MOUND. THE HOUSE FOUNDATION DRAIN CAN ACT AS THE CURTAIN DRAIN IF LOCATED 20'-30' UPSLOPE OF THE MOUND.

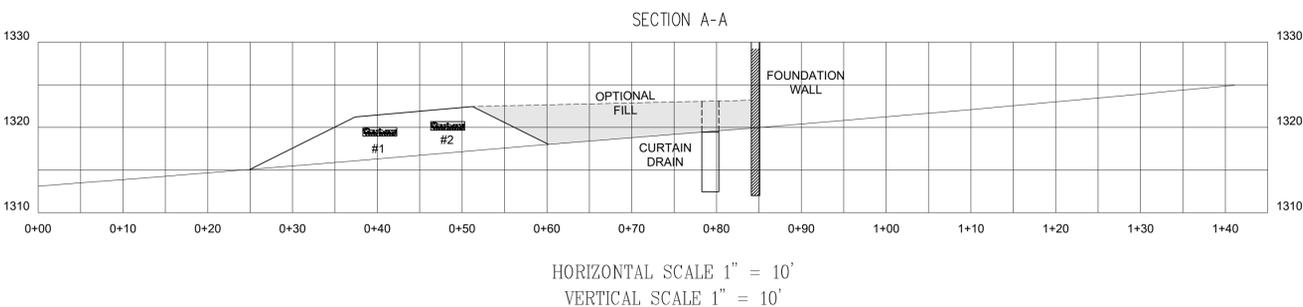
THE HOUSE FOUNDATION DRAIN MAY BE USED FOR A PORTION OF THE CURTAIN DRAIN IF THE HOUSE IS LOCATED AT THE LOW EDGE OF THE BUILDING ENVELOPE. MINIMUM DEPTH AND OTHER REQUIREMENTS MUST BE MET.



Topography by Total Station
Contour Interval 2'
Assumed Datum

THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION ACTIVITIES, COMPONENT LOCATIONS, SPECIFICATIONS, AND DETAILS PRIOR TO COMMENCEMENT OF SITE WORK AND SHALL NOTIFY MCCAIN CONSULTING OF ANY ISSUES OR DISCREPANCIES THAT ARISE FROM THAT REVIEW.

THIS IS NOT A SURVEY. THIS PLAN DOES NOT MEET THE REQUIREMENTS OF 27 VSA SEC. 1403 FOR THE FILING OF SURVEY PLATS.



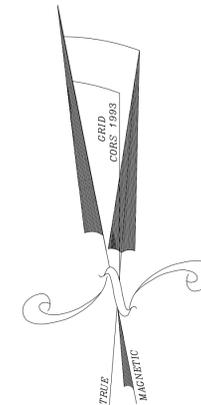
HORIZONTAL SCALE 1" = 10'
VERTICAL SCALE 1" = 10'

MOUND SYSTEM INVERTS

TRENCH	BOTTOM OF TRENCH	DISTRIBUTION OF STONE	PIPE INVERT
1	1319.0'		1319.7'
2	1319.7'		1320.4'

DESIGN INTENT:
THE INTENT OF THIS DESIGN IS TO HAVE A MINIMUM OF 30" OF SAND BELOW THE LEACHFIELD STONE. CONTRACTOR TO VERIFY ALL GRADES AND ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION AND CONTACT DESIGNER IF DISCREPANCIES ARE FOUND.

PRELIMINARY
NOT FOR CONSTRUCTION



SITE PLAN

JEFF SOLTESZ

AMENDMENT TO WW-5-5124 SERIES

SWEET ROAD

WATERBURY CENTER, VT

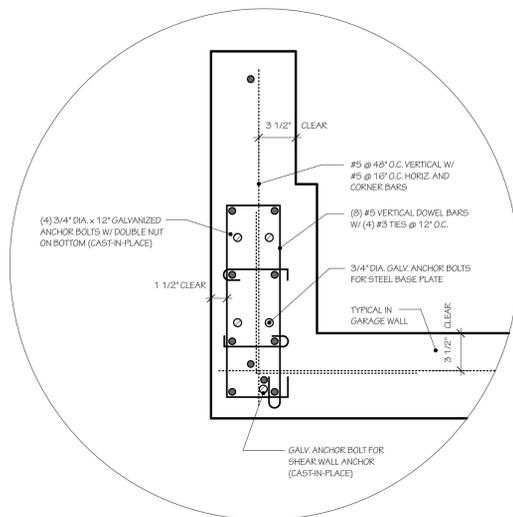
SCALE: 1" = 30'
DESIGNED BY: GNM
DRAWN BY: WDB
CHECKED BY: GMJr

PROJECT: #25130a-1

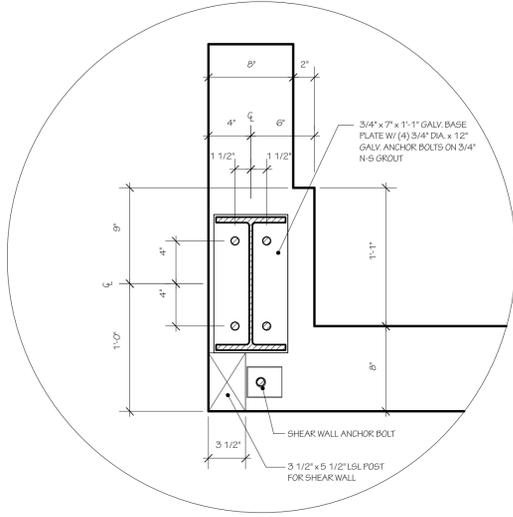
MCCAIN CONSULTING, INC.
93 SOUTH MAIN STREET
WATERBURY, VERMONT 05676

DATE: APRIL 23, 2021

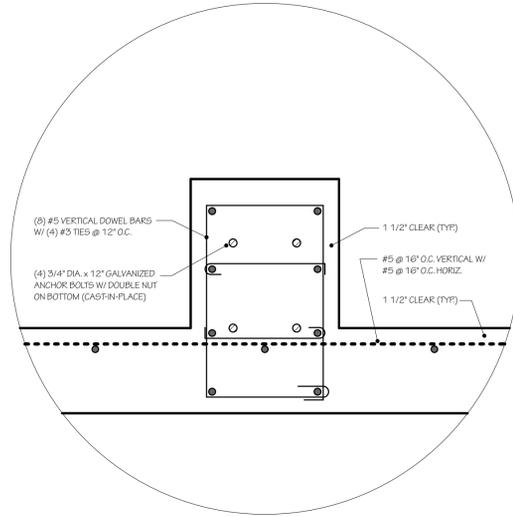
SHEET DC-1



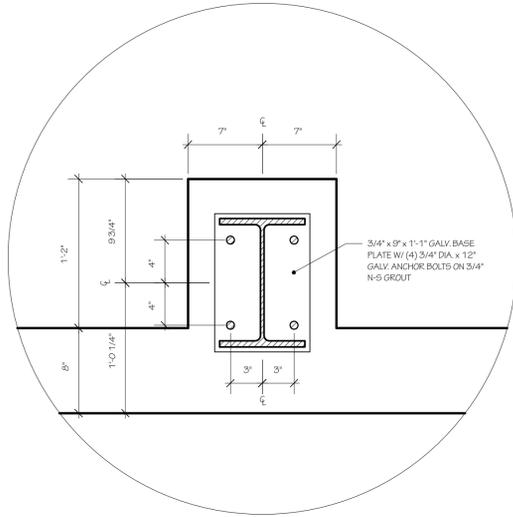
1 PLAN DETAIL @ GARAGE MOMENT FRAME BASE (REBAR)
SCALE: 1 1/2" = 1'-0"



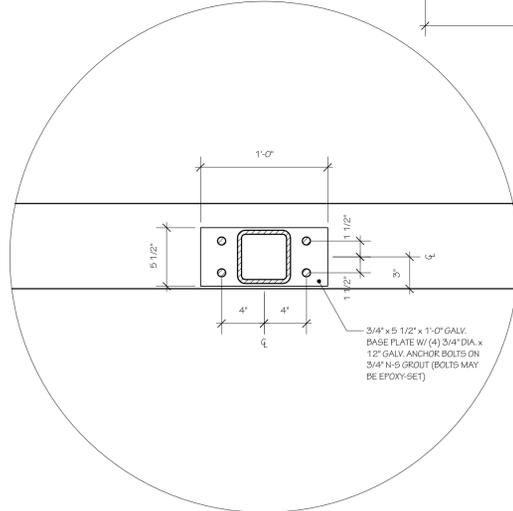
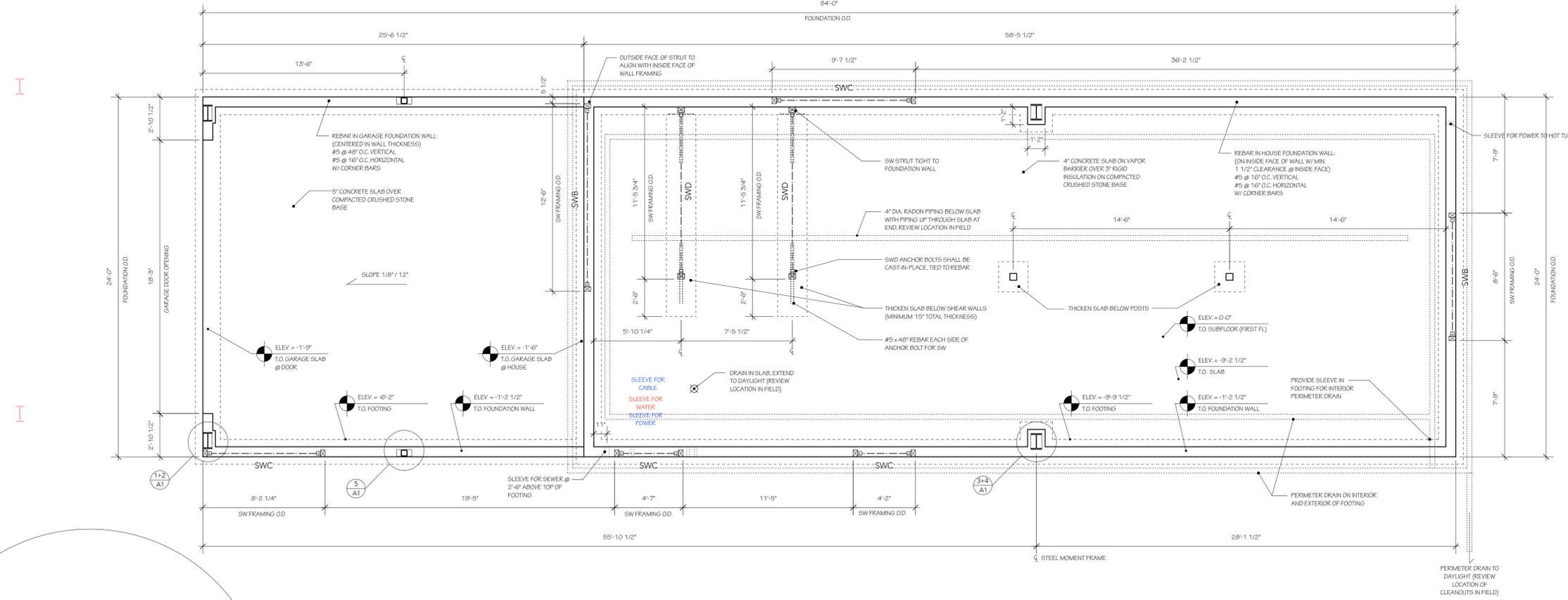
2 PLAN DETAIL @ GARAGE MOMENT FRAME BASE
SCALE: 1 1/2" = 1'-0"



3 PLAN DETAIL @ KITCHEN MOMENT FRAME BASE (REBAR)
SCALE: 1 1/2" = 1'-0"



4 PLAN DETAIL @ KITCHEN MOMENT FRAME BASE
SCALE: 1 1/2" = 1'-0"



5 PLAN DETAIL @ GARAGE CENTER FRAME BASE
SCALE: 1 1/2" = 1'-0"

SW	HOLD-DOWN ANCHOR	STRUT (s)	BASE DETAIL	FLOOR DETAIL (TCS-F2)	FLOOR DETAIL (TCS-F2)	PANEL ATTACHMENT (s)	PANEL ATTACHMENT (s)	PANEL ATTACHMENT (s)	BOTTOM PLATE BOLTS (s)
SWA	HDU2-SDS25 W/ 5/8" DIA. ANCHOR	3 1/2" x 5 1/2" x 13E LSL	TCS-A5	N/A	FIRST-SECOND	16d @ 4" O.C.	16d @ 10" O.C.	(2) ROWS 2 1/2" WSNTL SCREWS @ 8" O.C.	1/2" DIA. @ 24" O.C.
SWB	HDU2-SDS25 W/ 5/8" DIA. ANCHOR	3 1/2" x 5 1/2" x 13E LSL	TCS-A1 OR TCS-A2	N/A	N/A	16d @ 4" O.C.	16d @ 10" O.C.	(2) ROWS 2 1/2" WSNTL SCREWS @ 8" O.C.	5/8" DIA. @ 32" O.C.
SWC	HDU2-SDS25 W/ 5/8" DIA. ANCHOR	3 1/2" x 5 1/2" x 13E LSL	TCS-A1 OR TCS-A2	N/A	LTT19 W/ 1/2" DIA. ROD	16d @ 4" O.C.	16d @ 10" O.C.	(2) ROWS 2 1/2" WSNTL SCREWS @ 8" O.C.	5/8" DIA. @ 32" O.C.
SWD	HDU8-SDS25 W/ 7/8" DIA. ANCHOR	(3) 1 1/2" x 5 1/2" x 13E LSL	TCS-A1 OR TCS-A2	HDU8-SDS25 W/ 7/8" DIA. ROD	HDU4-SDS25 W/ 5/8" DIA. ROD	16d @ 4" O.C.	16d @ 10" O.C.	(2) ROWS 2 1/2" WSNTL SCREWS @ 8" O.C.	5/8" DIA. @ 24" O.C.

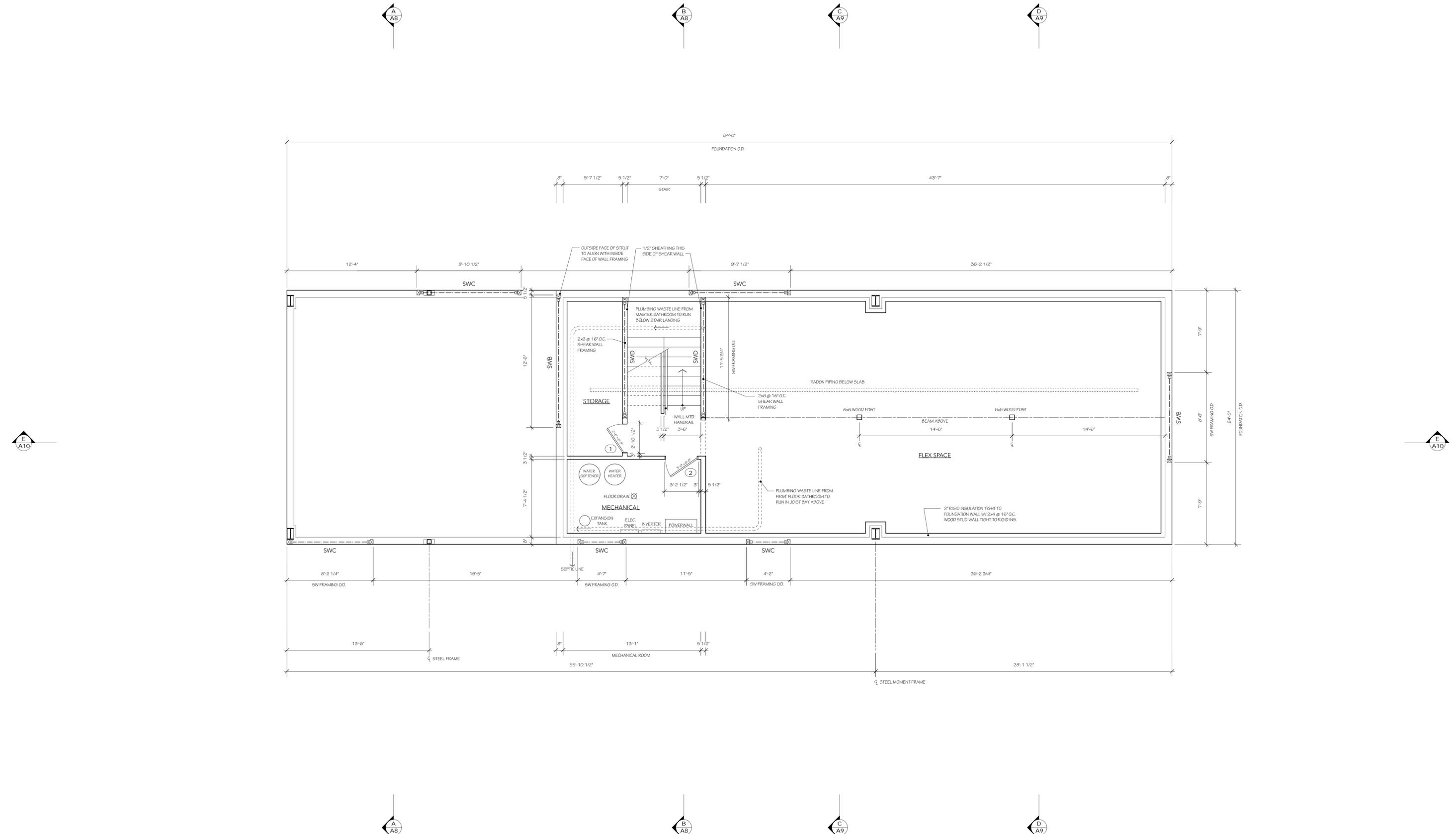
NOTES

- Anchor to be "cast-in" galvanized threaded rod (ASTM A36) w/ double nut and washer at bottom and w/ min. 12" embed, except otherwise detailed or shown.
- Built-up struts are to be screwed together. See built-up post detail.
- Install plywood/OSB/ZipR panels w/ long axis horizontal and stagger vertical joints @ 48".
- Install panel nails w/ min. 1 1/2" penetration. All nails to be 16d sinkers unless otherwise noted.
- Simpson Strong-Tie screws (or approved equal), (2) rows to be staggered.
- Galvanized L-bolt or adhesive anchor bolts/ threaded rod w/ 8" min. embed ext., 6" embed int.

NOTE:
ALL DIMENSIONS SHOWN ARE ROUGH FRAMING UNLESS OTHERWISE NOTED. REVIEW ANY DISCREPANCIES WITH ARCHITECT PRIOR TO CONSTRUCTION.



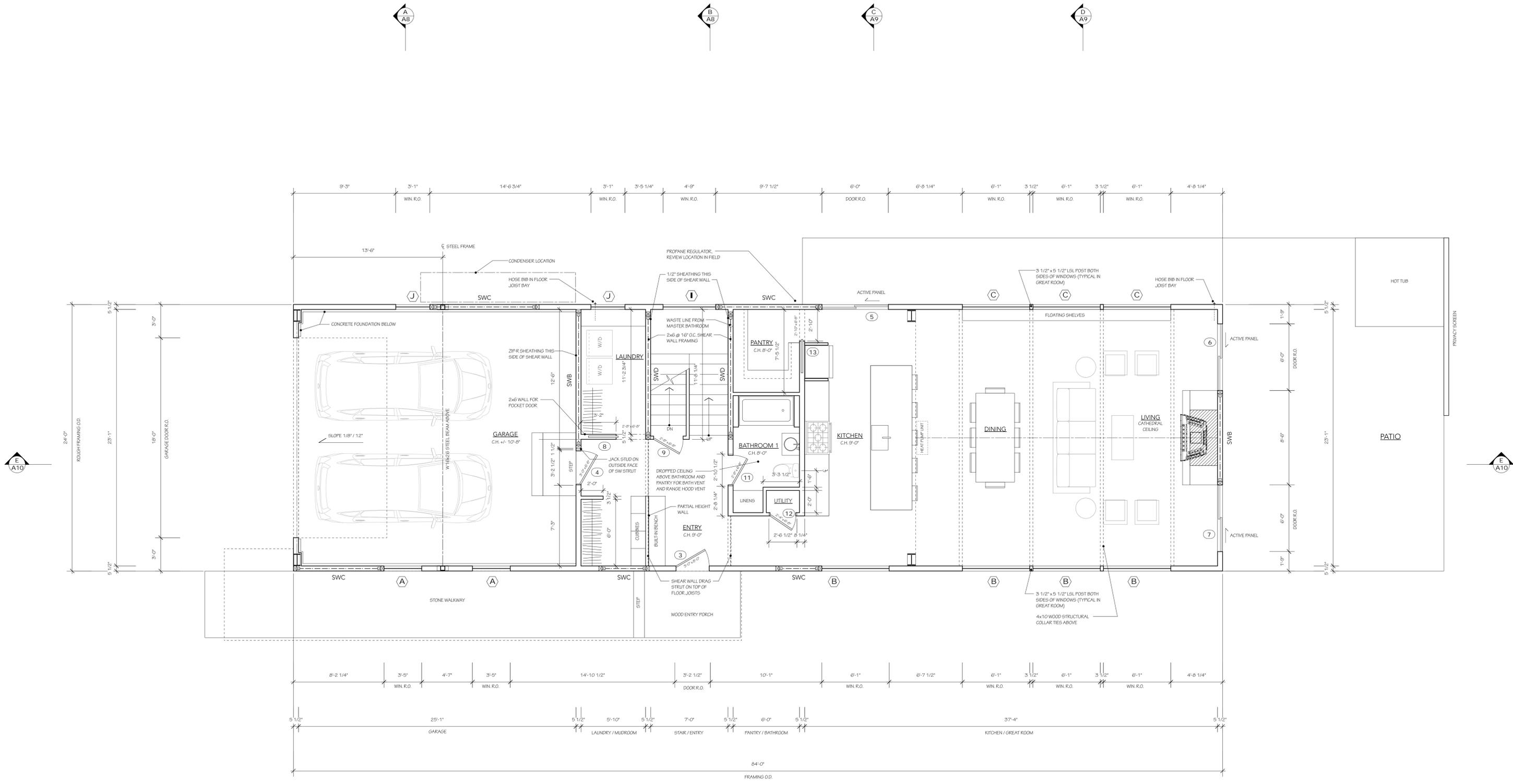
PRELIMINARY
NOT FOR CONSTRUCTION



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PRELIMINARY
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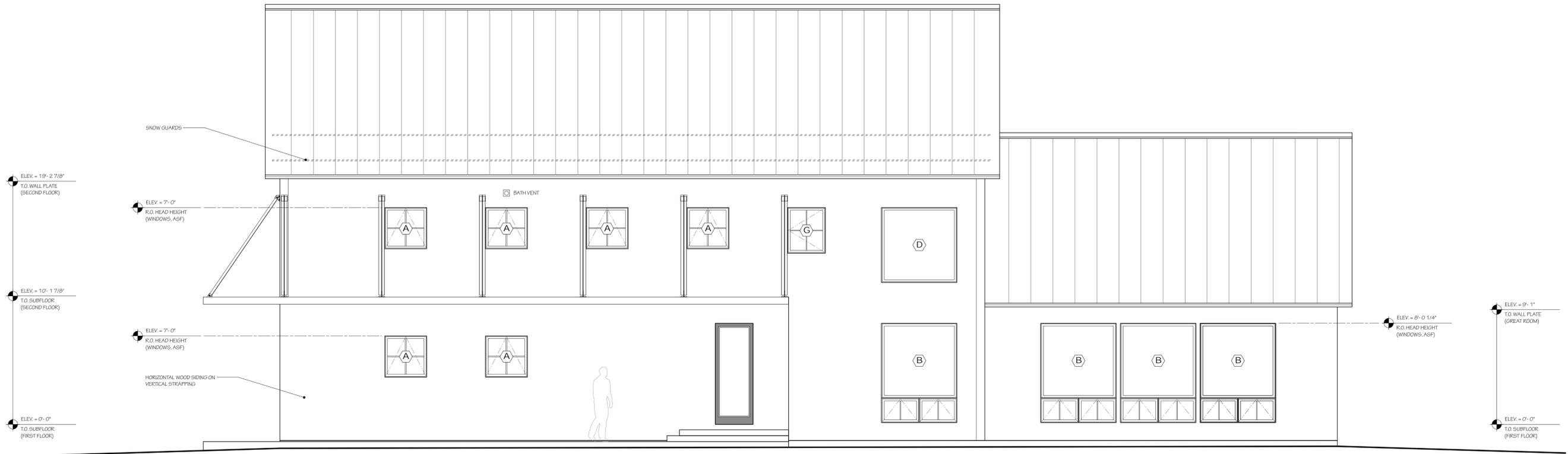


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
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PRELIMINARY
NOT FOR CONSTRUCTION



WEST ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

MARK	LOCATION	FRAME SIZE (w x h)	ROUGH OPENING (MARVIN SPECS)	QTY	MANUFACTURER	TYPE	CAT. NO.	NOTES
A	Various Locations	3'-4" x 3'-3 1/8"	3'-5" x 3'-3 5/8"	6	Marvin Elevate, wood-ultrix series	Awning	ELAWN 4139	-
B	Kitchen / Living Room	6'-0" x 7'-10 1/4"	6'-1" x 7'-10 3/4"	4	Marvin Elevate, wood-ultrix series	Picture over (2) wide Awning	ELCAP 7371 / ELAWN 3723	Factory-Mulled Unit
C	Living Room	6'-0" x 2'-11 1/8"	6'-1" x 2'-11 5/8"	3	Marvin Elevate, wood-ultrix series	(2) wide Awning	ELAWN 3735	Factory-Mulled Two-Wide Unit
D	Master Bedroom	6'-0" x 5'-11 1/8"	6'-1" x 5'-11 5/8"	1	Marvin Elevate, wood-ultrix series	Picture	ELCAP 7371	-
E	Various Locations	3'-0" x 4'-7 1/8"	3'-1" x 4'-7 5/8"	3	Marvin Elevate, wood-ultrix series	Casement	ELCA 3755	-
F	Master Bedroom	2'-4" x 2'-3 1/8"	2'-5" x 2'-3 5/8"	2	Marvin Elevate, wood-ultrix series	Awning	ELAWN 2927	-
G	Master Bedroom	3'-0" x 3'-7 1/4"	3'-1" x 3'-7 5/8"	1	Marvin Elevate, wood-ultrix series	Casement	ELCA 3743	-
H	Bedrooms	7'-8" x 4'-7 1/8"	7'-9" x 4'-7 5/8"	2	Marvin Elevate, wood-ultrix series	Casement / Picture	ELCA 3755 / ELCA 5755	Factory-Mulled Two-Wide Unit
I	Stair	4'-8" x 9'-2 1/4"	4'-9" x 9'-2 3/4"	1	Marvin Elevate, wood-ultrix series	(2) high Casement	ELCA 5755 / ELCA 5755	Factory-Mulled Two-High Unit
J	Garage / Laundry	3'-0" x 2'-11 1/8"	3'-1" x 2'-11 5/8"	2	Marvin Elevate, wood-ultrix series	Awning	ELAWN 3735	-

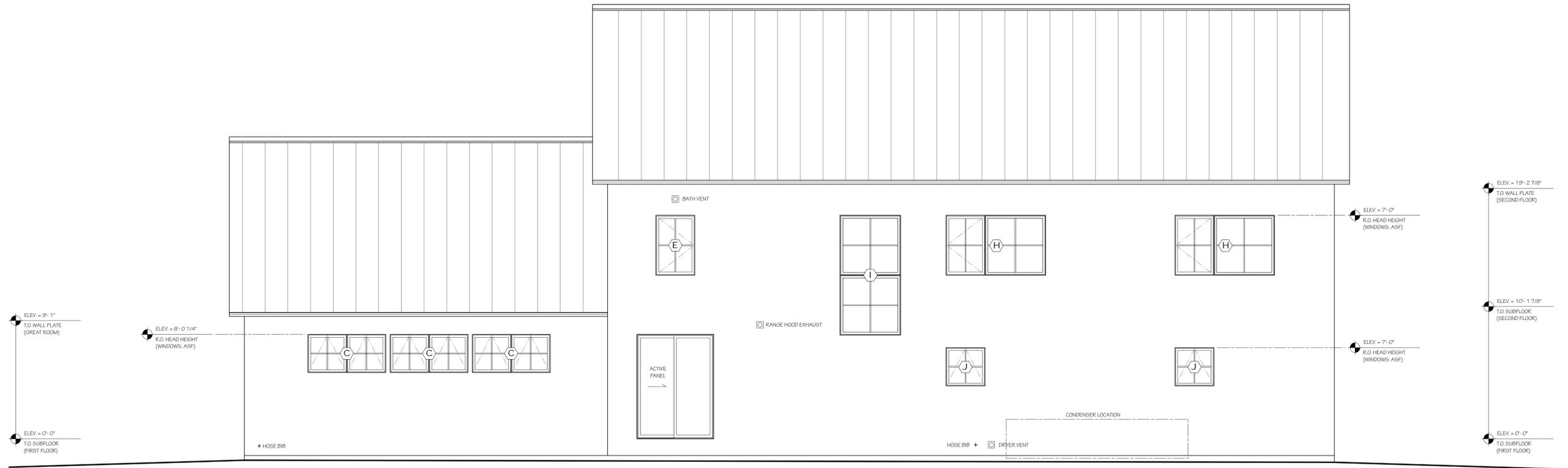
NOTES

- See elevations for window hinging
- All windows to have ebony exterior
- All windows to have pre-finished designer black interior
- All windows to have 4 9/16" frame for sheetrock returns
- Window hardware shall be matte black
- Glass shall be dual pane with LowE3 coating and argon gas
- Provide tempered glass as required by code
- All windows to have black spacer bar between glass panes
- Refer to elevations for mullion design

NOTE:
ALL DIMENSIONS SHOWN ARE ROUGH FRAMING UNLESS OTHERWISE NOTED. REVIEW ANY DISCREPANCIES WITH ARCHITECT PRIOR TO CONSTRUCTION.



PRELIMINARY
NOT FOR CONSTRUCTION

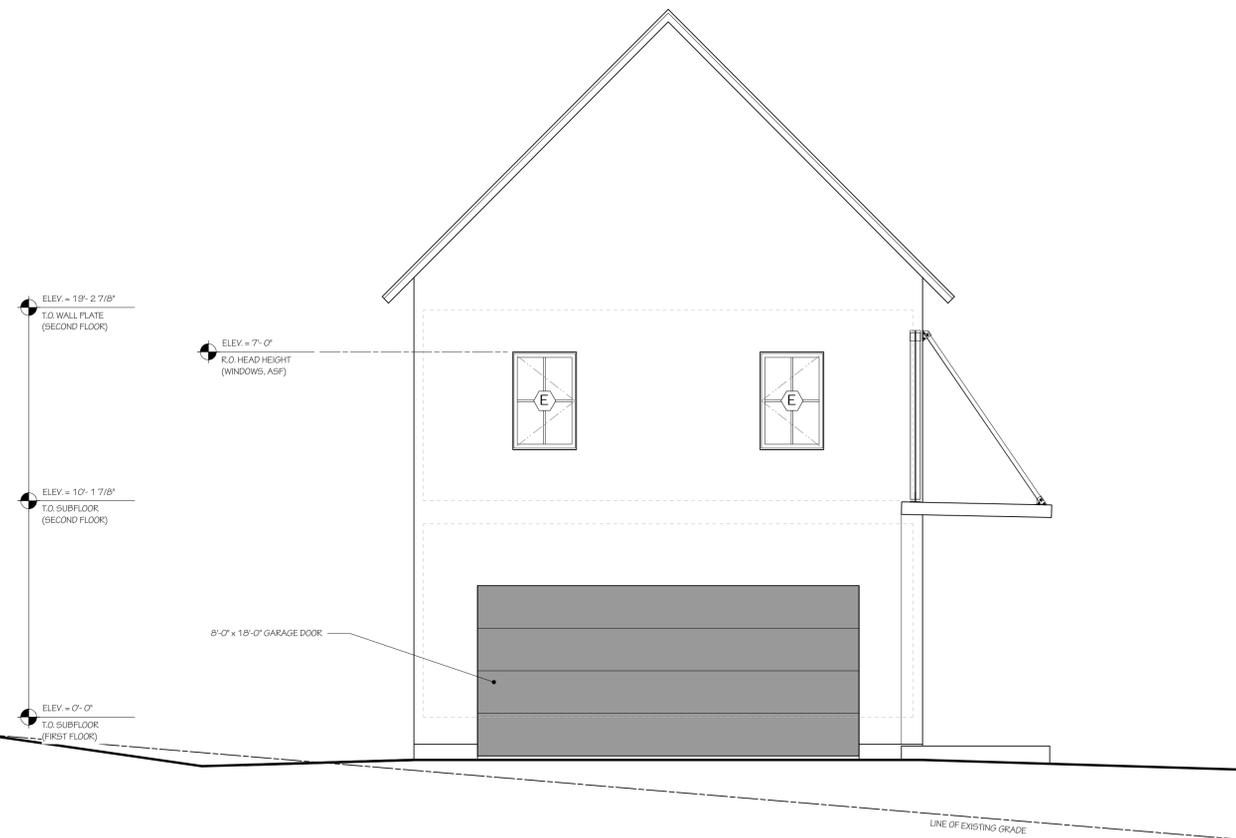


EAST ELEVATION
SCALE: 1/4" = 1'-0"

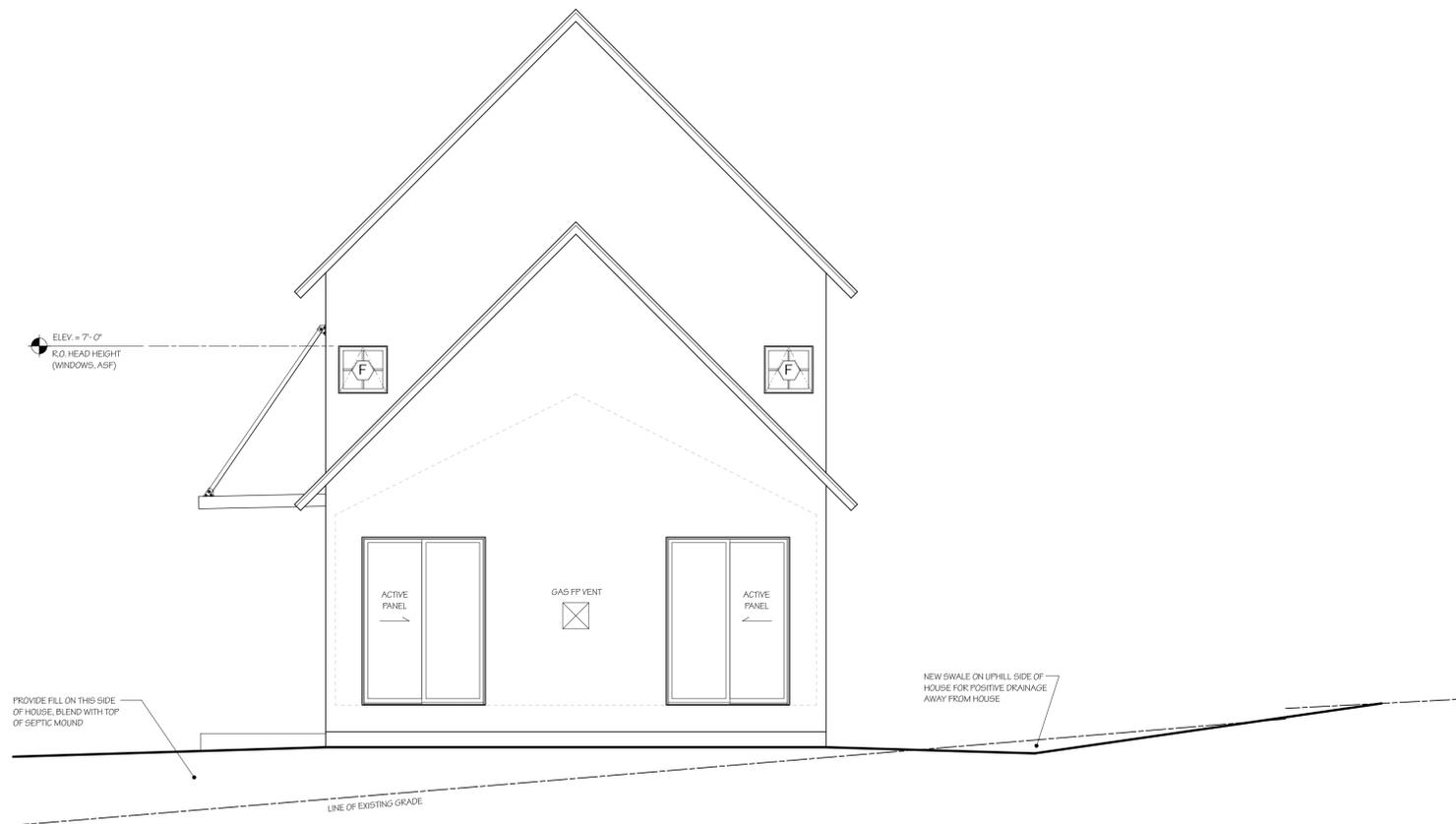
NOTE:
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PRELIMINARY
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
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Soltesz Lot on Sweet Rd.

Waterbury Center, VT

1 inch = 134 Feet



April 23, 2021



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