



OSSO STUDIO

NOT FOR CONSTRUCTION

WALKER ROAD
ADU

100 WALKER RD
BERLIN, VT

DATE : 11/27/2024
Δ REVISIONS

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OSSO STUDIO

SCHEMATIC
DESIGN

DEMOLITION
PLANS

D1

GENERAL NOTES - DEMOLITION

- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED, SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
- WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DERORMATION CAUSED BY SUCH LOADS.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
- DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
- REMOVE WALL FINISH MATERIAL AS REQUIRED TO ENSURE 1 HR RATE ASSEMBLY CAN BE OBTAINED AND CONTINUOUS.

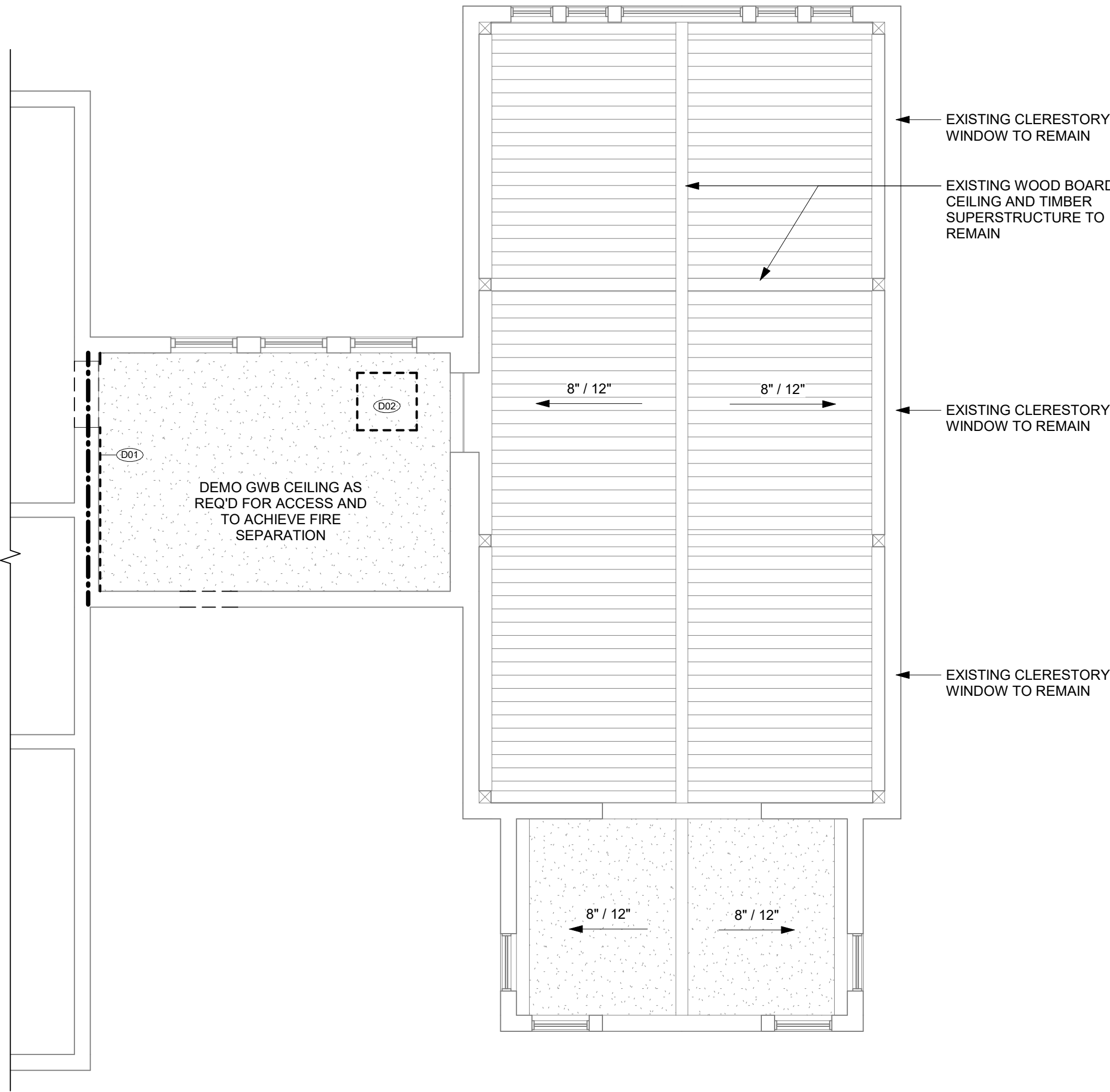
KEYNOTES

- D01 REMOVE EXISTING GYPSUM WALL BOARD AS REQUIRED TO ACHIEVE CONTINUOUS 1 HOUR RATING BETWEEN NEW ADU AND PRIMARY DWELLING.
- D02 PROVIDE OPENING FOR NEW CEILING, R50 ATTIC ACCESS.

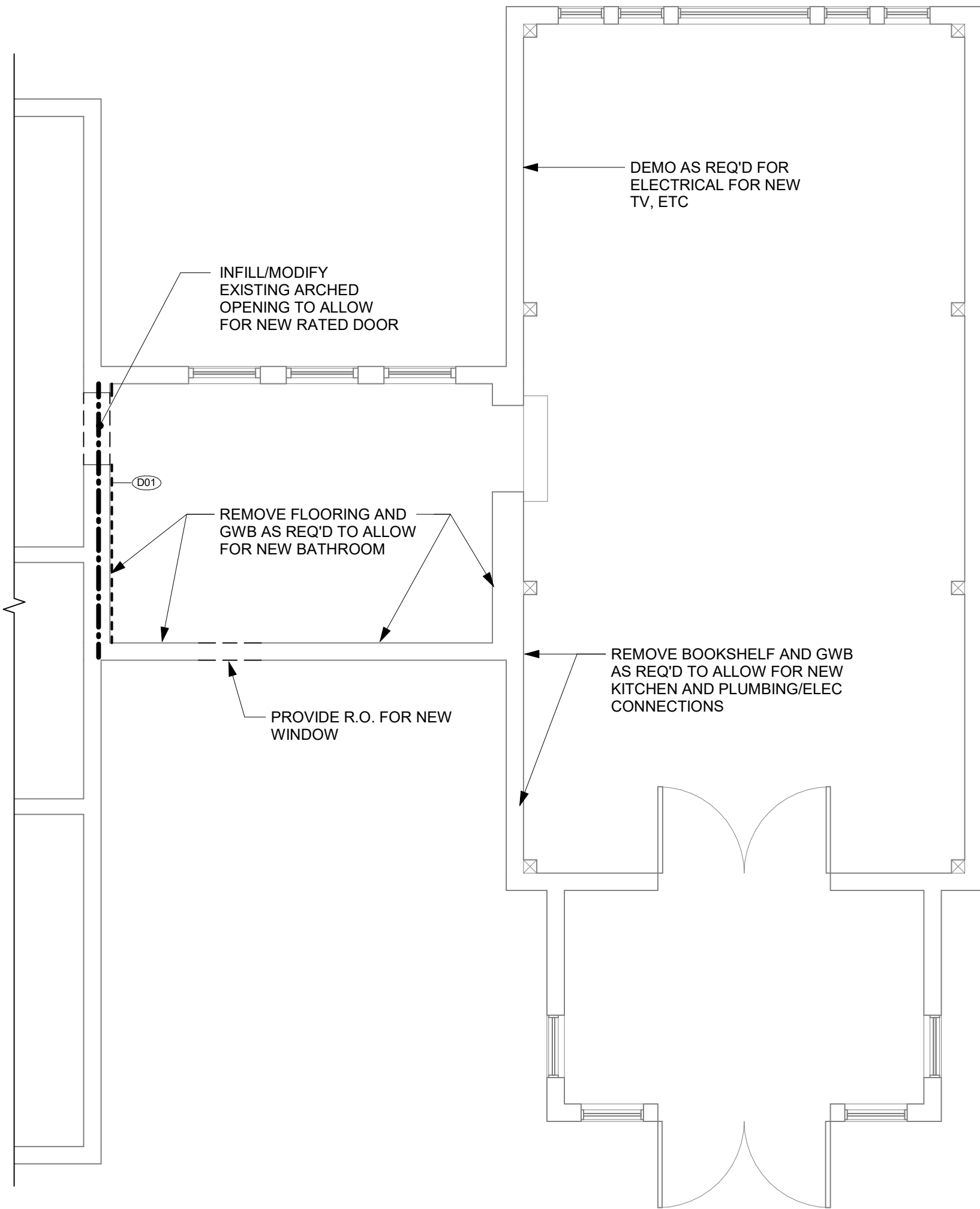
DEMOLITION KEY

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING FLOOR/CEILING TO BE DEMOLISHED

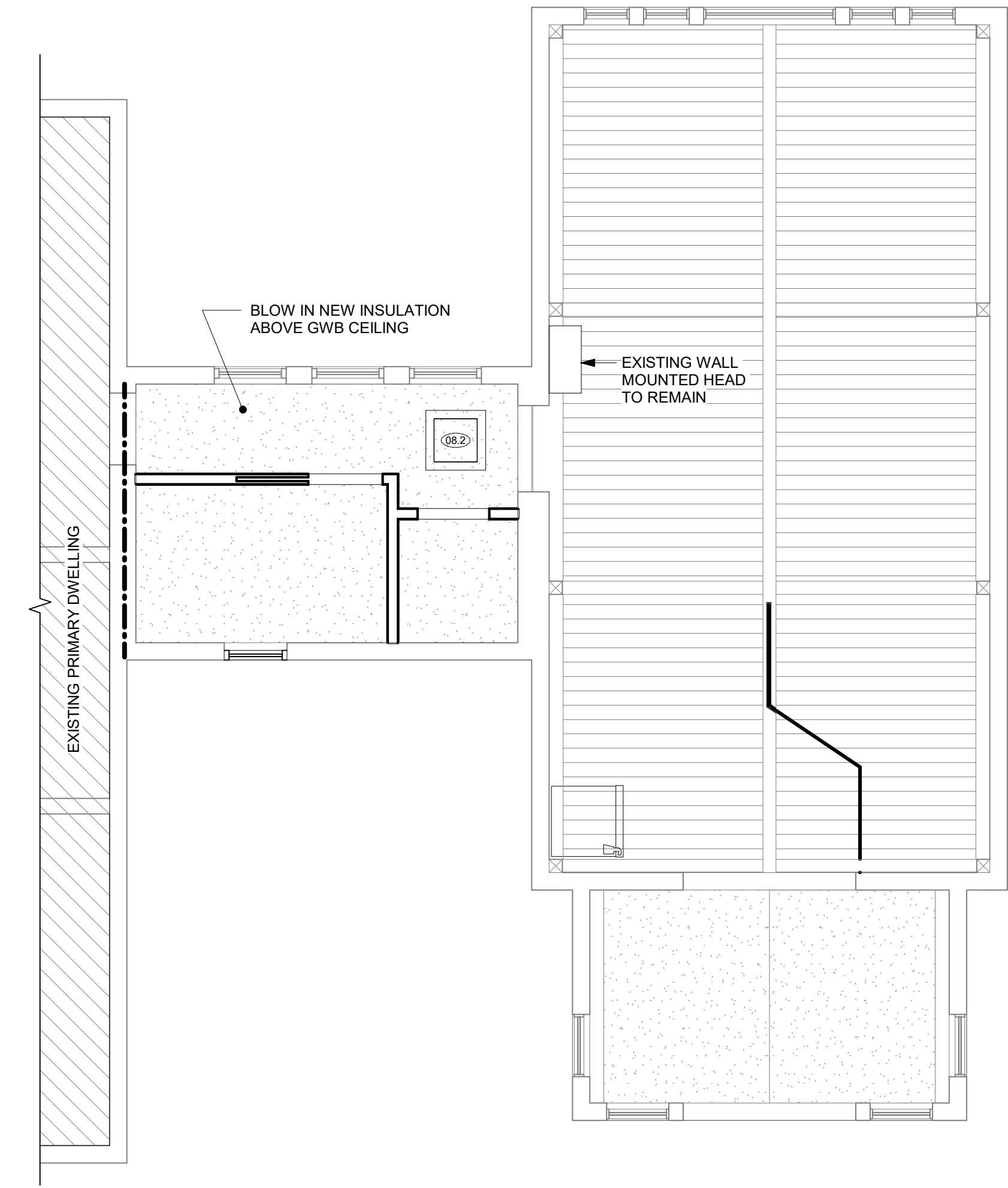
LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	EXTERIOR EXIT
	INTERIOR EXIT



2 DEMOLITION RCP
Scale: 1/4" = 1'-0"



1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"

SCOPE OF WORK: PLUMBING / MECHANICAL

- ROUGH IN AND TRIM KITCHEN SINK (LOWER SECTION) AND BATHROOM AND LAUNDRY CONNECTION (UPPER SECTION). PLUMB TO EXISTING SEPTIC.
- ADD HEAT PUMP WATER HEATER IN CRAWL SPACE BELOW BATHROOM.
- ADD BASEBOARD STRIP TO NEW BATHROOM AND REZONE BOILER CONTROLS TO ADD THE NEW STRIP TO THE EXISTING BASEBOARD IN THE "CONNECTOR".
- ERV VENTILATION UNIT HUNG IN CLOSET. PROVIDE EXTERIOR PENETRATIONS FOR SUPPLY AND EXHAUST AIR. SUPPLY TO LIVING SPACE AND HALLWAY. RETURN FROM BATHROOM.

SCOPE OF WORK: ELECTRICAL

- EXISTING SUNROOM AND CONNECTOR TO BE CONVERTED INTO ADU. THERE IS AN EXISTING 200 AMP SINGLE METER SERVICE, AND A SUB-PANEL WHICH FEEDS THE ADU AREA. THE EXISTING SERVICE MAY NOT BE ADEQUATE FOR TWO UNITS. WITH ELECTRIC RANGES, HEATPUMPS, DRYERS, AND WATER HEATERS. RATHER THAN EXCAVATING A BIGGER SERVICE FROM THE POLE, THE OWNER MAY CONSIDERPROPANE RANGES, PROPANE OR HEAT-PUMP DRYERS, AND ON-DEMAND PROPANE WATER HEATERS. TENANTS MUST HAVE ACCESS TO THEIR BREAKER PANELS. IF THE EXISTING SUB-PANEL REMAINS FED FROM THE MAIN PANEL, THE TENANTWOULD NEED ACCESS TO THE MAIN PANEL AS WELL. IF A NEW SERVICE WITH SEPARATE METERING WAS INSTALLED, THEN ONLY ACCESS TOTHE SUB-PANEL WOULD BE REQUIRED. GIVEN THE TIGHT SPACE, IT IS NOT PRACTICAL TO MOVE THE SUB-PANEL INTO THE ADU.
- RE-FEED TWO HEAT PUMPS IN ORDER TO SEPARATE UNITS INTO THEIR OWN BREAKER PANELS.
- WIRE NEW KITCHENETTE, BATH AND LAUNDRY.
- WIRE NEW WATER HEATER.
- ALTERNATE 1: REPLACE METER SOCKET WITH DUAL METER SOCKET FOR SEPARATE ADU METERING.
- ALTERNATE 2: REPLACE UNDERGROUND SERVICE, UPGRADE TO 320 AMPS.

LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	EXTERIOR EXIT
	INTERIOR EXIT

CEILING FIXTURE KEY	
	RECESSED/SPOT LIGHT FIXTURE
	STRIP/LINEAR LIGHT FIXTURE
	LINEAR FIXTURE CONCEALED FROM VIEW
	WALL MOUNT LIGHT FIXTURE
	EXHAUST FAN
	ACCESS PANEL
	SMOKE ALARM
	OCCUPANCY SENSOR

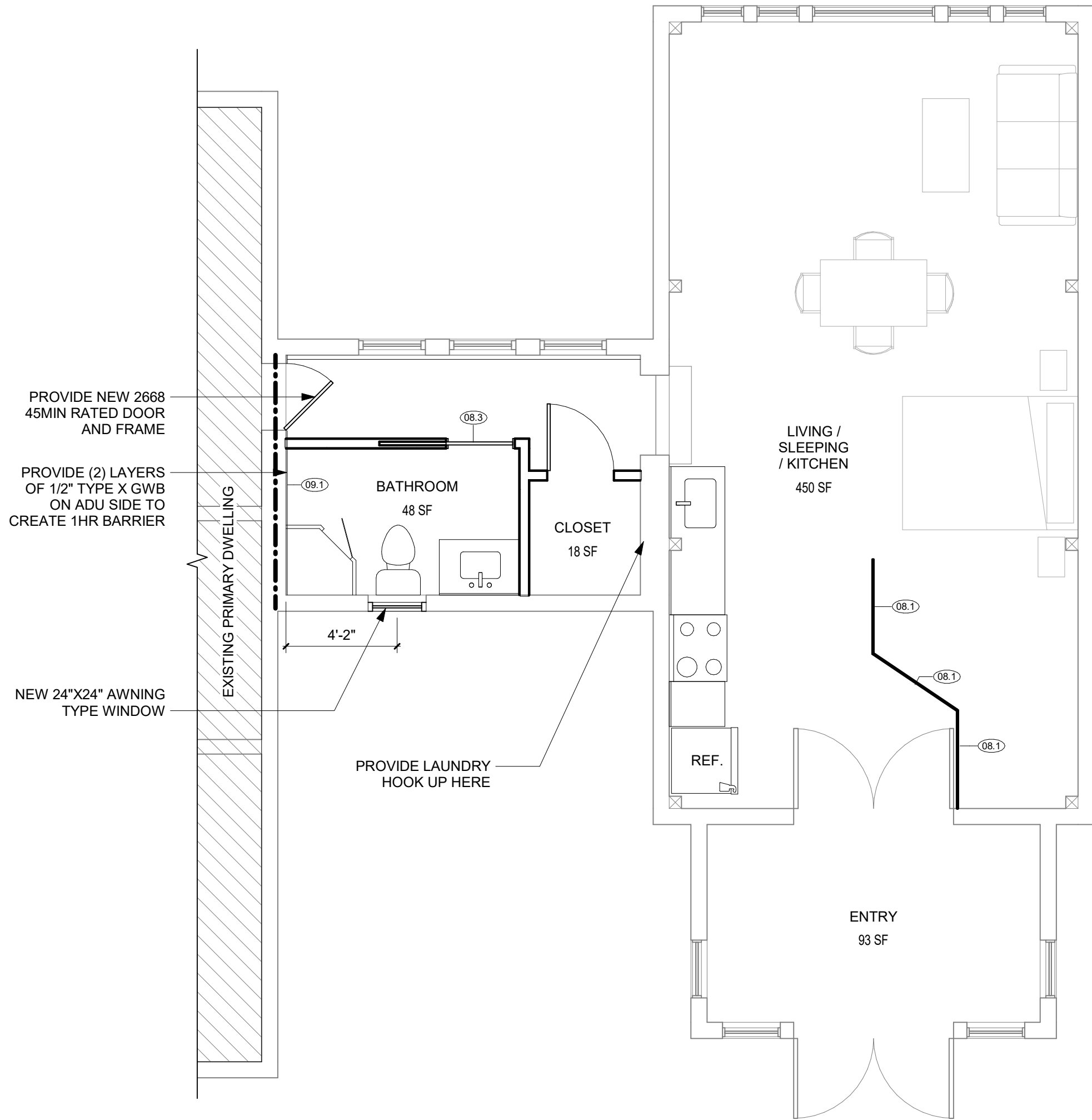
CEILING MATERIAL KEY	
	GYPSUM WALL BOARD
	WOOD BOARD CEILING

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A6.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE.
- INSTALL NEW SHEET VINYL FLOORING IN THE BATHROOM. EXISTING FLOORING TO REMAIN EVERYWHERE ELSE. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FINISH FLOORS.
- REPAINT EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PAINT. NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMANGED.
- MAINTAIN 1HR FIRE RATED PARTITION BETWEEN UNITS. FIRE CAULK PENETRATIONS, CRACKS ETC AS REQUIRED TO MAINTAIN CONTINUITY. REFERENCE KEY NOTES FOR MORE DETAILS.
- PROVIDE NEW PLAM COUNTERTOPS W/ BACKSPLASH AND PLYWOOD BOX, SHAKER STYLE, MAPLE CABINETS FOR NEW KITCHEN.
- PROVIDE ACOUSTIC/FIRE MINERAL WOOL BATT INSULATION IN PARTY WALL.
- REMOVE EXISTING INSULATION ABOVE GWB CEILING IN "CONNECTOR" SPACE AND BLOW IN NEW CELLULOSE INSULATION TO R50.

KEYNOTES

- PROVIDE TRANSLUCENT, FREESTANDING ROOM DIVIDER SCREENS.
- PROVIDE NEW ATTIC ACCESS; R50 MODEL.
- PROVIDE NEW 2668 FULL LITE POCKET DOOR WITH FROSTED GLASS.
- (2) LAYERS OF 1/2" TYPE X GWB; 1HR BARRIER MUST BE CONTINUOUS FROM BASEMENT SLAB TO UNDERSIDE OF ROOF DECKING; INFILL BASEMENT FOUNDATION WALL AS REQUIRED TO PARTITION CRAWL SPACE AND ADD RATED ACCESS DOOR TO ACCESS CRAWL SPACE AREA; GWB MUST EXTEND ABOVE CEILING TO UNDERSIDE OF ROOF DECK; FIRE CAULK ALL SEAMS AND PENETRATIONS TO ENSURE CONTINUITY.



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"



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A1